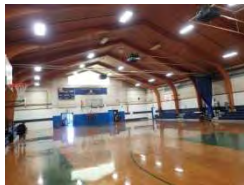


Sanborn Regional School District

Facilities Study

Capital Improvement Projects 2018-2022



Sanborn Regional Middle School

Bakie Elementary School

Memorial Elementary School

Swasey Gymnasium

Chase Field House

Sanborn Regional High School

Marinace Architects

New Hampton, NH

Table of Contents

Study methods & acknowledgements

Facilities study and cost analysis

Sanborn Regional Middle School

Bakie Elementary School

Memorial Elementary School

Swasey Gymnasium

Chase Field House

Sanborn Regional High School

5 year cost tabulation

Appendix

Methodology

The purpose of the following report is to provide an independent assessment of the condition of each of the school district's facilities, a prioritization of the recommended upgrades into categories based on urgency, and the development of estimates of probable cost for each.

The information gathered for this report came from several sources: multiple tours of each building by Marinace Architects staff, review of the existing 5-year Capital Improvement Plan, discussions with staff at the schools, and valuable input from Steve Riley and Carol Coppola of the SAU office.

We prioritized items based on the following criteria:

1. Work required to bring a school into conformance with a building code, fire code, or the Americans with Disabilities Act. Work that would increase the health, safety, or security of the students and staff.
2. Work required to correct a situation that could lead to increased and imminent deterioration of a facility. Work to replace or upgrade items that will have an immediate positive impact on the learning experience of the students. Work that results in increased energy efficiency and cost savings to the school district.
3. Work to upgrade items that have worn out or are reaching the end of their serviceable life, and need to be replaced in the next 5 years.

The estimates of probable cost were developed by Marinace Architects and Conneston Construction Inc., a NH construction management firm that has tremendous experience with school construction and estimating. The costs are based on similar projects from the past few years, and include the direct costs of the work plus administrative costs such as design and engineering fees and project contingency.

Sanborn Regional School District – CIP Facilities Study

October 19, 2016



Sanborn Regional Middle School

General:

Phases: The building has 4 sections, built in 1978 (first two sections), 1995, and 1999, with the last section being portable classrooms. We will refer to them as Areas A, B, C, D.

Building Area = 48,000 s.f.

Scope of this Report:

The intent of this report is to assess the architectural elements of this school for the purpose of updating the school district's Capital Improvement Plan. We toured the school to observe the condition of items such as flooring, ceilings, paint, casework, fixed equipment, windows, doors, hardware, kitchen equipment, exterior building components, skylights and roofing. The scope of this study does not include the review of the building's plumbing, mechanical, electrical, communications or security systems, or site improvements. We have, however, listed previously identified and budgeted mechanical / site CIP items for completeness.

Additionally, this report is not intended to be a code analysis of the building. That assessment was done in 1999 by Team Design Inc., and is largely still applicable.

Sprinkler System Requirement Analysis:

The 1999 Building Facilities Analysis performed by Team Design Inc examined this school relative to the life safety codes current at that time. Although there were particular items that did not meet the letter of the code, the existing conditions had been deemed acceptable by the Authorities Having Jurisdiction (AHJ). As there were no significant outstanding violations requiring correction by the AHJ, the existing buildings met the intent of the code, and did not need to be upgraded unless there was a change of use or an addition was planned.

The current codes (2015 NFPA 101 Life Safety Code and 2009 International Building Code) take a similar approach to existing condition in older buildings. The school district staff have indicated that the AHJ has no outstanding items requiring correction. We have contacted the Newton Fire Chief, and he has confirmed that unless a major renovation or addition is planned, then no upgrades, including the addition of a sprinkler system, are required.

Architectural Elements:

General Finishes: Wall paint is generally in good condition. Floors and ceilings vary throughout the building, and in some areas we recommend replacement.

Toilet Room walls, floors, ceilings are generally in good condition, with a few exceptions.

Toilet Equipment: Fixtures and partitions are in good condition. Some countertops and sinks need replacement.

Corridor Lockers: In good condition.

Exterior: Brick veneer looks very good. Vinyl soffits in 1978 areas are in good condition.

Gym Equipment: Backboards, wall pads, bleachers in good condition.

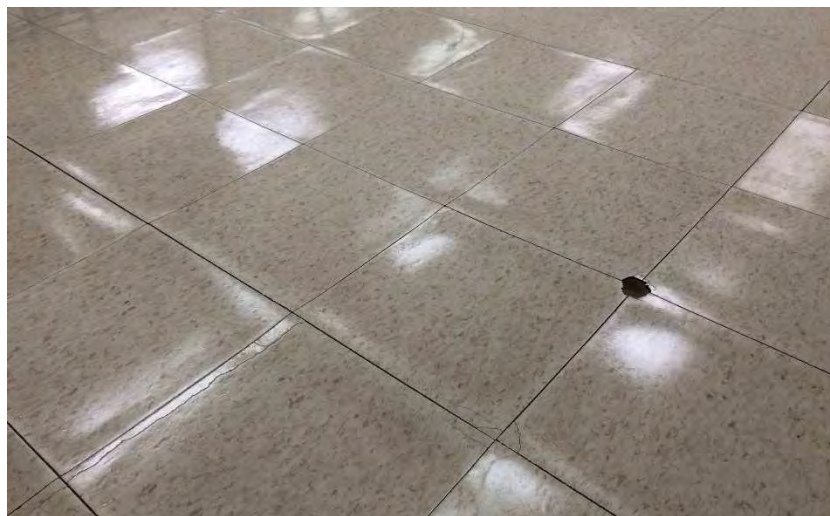
Items to be replaced in the next 5 years:

Flooring:

- Gym Floor: Vinyl floor is old and difficult to maintain. Replace the vinyl gym floor with a new sports floor with inlaid lines.



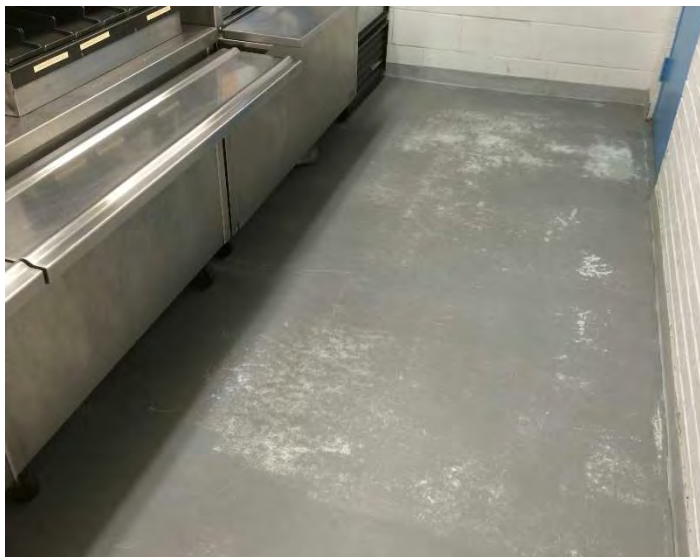
- The VCT flooring in Area D is in poor condition, and is lifting. This should be replaced unless the portables themselves are replaced.



- The VCT flooring throughout Areas A & B is old and has been patched many times over the years. This flooring should be replaced with new VCT. It is reported that there are some asbestos-containing materials in this flooring, which will have to be dealt with. We have budgeted for this work in the cost estimate.



- The kitchen floor is painted concrete and is difficult to maintain. The best approach is to add quarry tile floor and base on top of the concrete.



- The carpet in the offices and conference room is worn. Replace carpet.



Wall Paint:

- The Multipurpose room wall paint is dirty and worn. The room should be repainted, including the tectum panels.

Ceilings:

- The ceilings in Areas A & B are in poor condition and should be replaced. There is fiberglass batt insulation laying on top of the ceiling which will need to be removed as it is no longer considered a viable or safe insulation for schools. Since this is the only insulation in the roof assembly and the roofing itself is not scheduled to be replaced any time soon, we will need to add 3" of spray urethane insulation to the underside of the roof deck. We will then install a new suspended ceiling system and new LED lighting, with pendant lights in the classrooms.



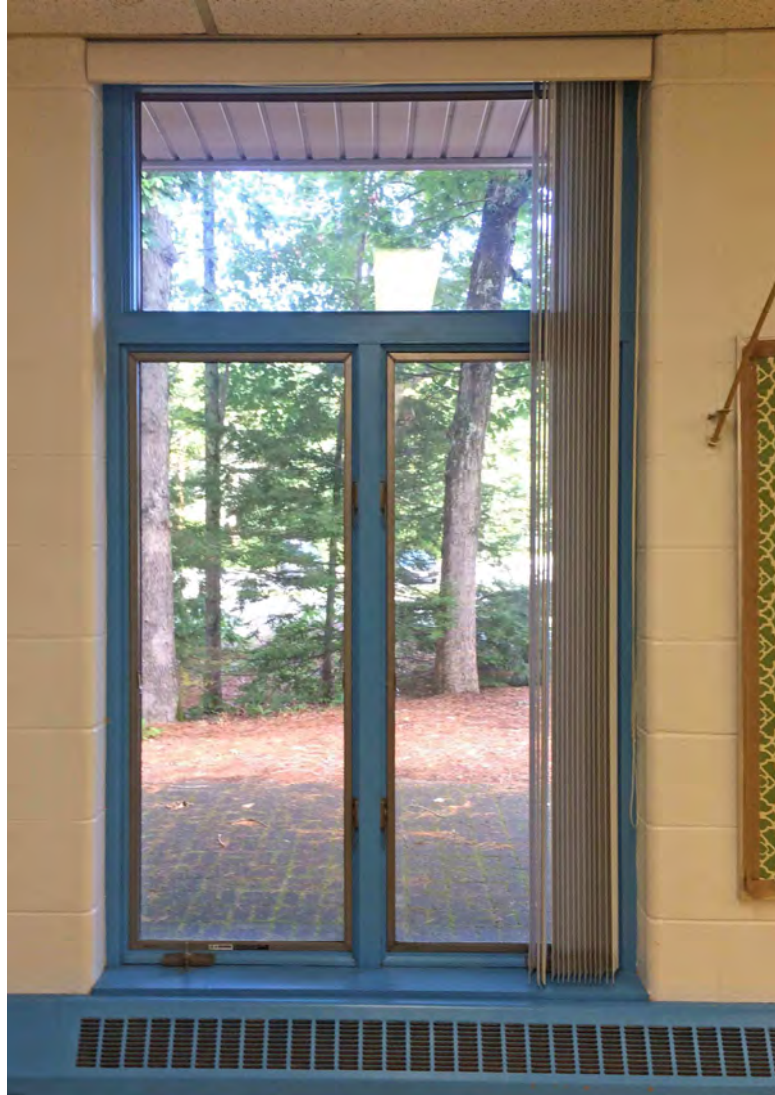
Casework:

- Replace old, worn casework, counters, sinks & faucets in Classrooms, Art, Tech Ed, Nurse's room, and the Media Center.



Window Coverings:

- Windows blinds in the entire school are vertical blind, and operate poorly. All blinds should be replaced with commercial grade roller type blinds.



Toilet Rooms:

- Counters and sinks in the two large Area A corridor toilets are in poor condition, and should be replaced with solid surface countertops and sinks, and new faucets.



Kitchen Equipment:

- Add an electric heated mobile holding cabinet to allow food to be served hot.



Windows:

- Windows in Areas A & B (except two science rooms) are original to 1978, not energy efficient, and do not provide the required opening size to comply with fire codes. Replace with new heavy duty commercial aluminum windows. Replace insulated panels below windows with new insulated panels.



Skylights:

- (14) 4' x 4' plastic bubble skylights in the Gym, Art room and Library have started to fail. Many are cracked, have been caulked over the years, and several leak. Replace all skylights with new units.



Doors and Hardware:

- Most of the school's door hardware dates to 1978-1995. The majority of door levers are loose and do not work properly. Many hinges are loose and in need of constant maintenance to keep doors operating. Replace all classroom-to-corridor door hardware. New hardware to include mortise locksets, Roton hinges if possible, and the classroom safety locking function, which is now standard in schools.



- The two classroom exterior doors at the end of Area B are very rusted and don't operate well. These doors and frames should be replaced with new hollow metal doors and frames.



Room Signage:

- Add ADA compliant room signage at all rooms. None now exists.

Roofing:

- The standing seam metal roof over the gym storage area is showing signs of age, and is rusting along the eaves. It has a relatively small overhang, which, combined with the eave deterioration, appear to have allowed water to run down the brick wall, causing damage. This roof should be replaced with a new standing seam metal roof with a larger overhang. A crushed stone drip area should be placed on the ground below this roof to reduce splashing dirt on the wall.



- The asphalt shingle roof over the kitchen looks old and weathered. It should be replaced with a similar roof.



Portable Classrooms:

- There are 6 portable classrooms in Area D. Portable classrooms are an ongoing maintenance cost. These portables have low-grade windows that don't operate well, floors that are bubbling because of moisture, and a substantial number of animal holes dug beneath the vinyl skirt. Similar problems are likely to continue as long as the portables are in use. We therefore recommend that the six existing portable classrooms be replaced with permanent, high quality construction in the location of the existing portables.



Security-Driven Main Office Renovation:

- The General Office does not have a secure waiting area where visitors check in with staff through a window and are then allowed into the building. This is not an ideal situation from a security standpoint. A good solution appears to be to create a secure reception area carved out of the existing office area. We believe this will require the expansion of the General Office into the adjacent classroom. Two benefits of this expansion could be the relocation of the Principal's Office back into the General Office area, and subsequently the expansion of the Nurse's Office into the current Principal's Office. See conceptual floor plan.



- If the classroom taken over by the General Office needs to be replaced, it should be included in the addition resulting from the replacement of the portable classrooms.

Exterior Storage Building:

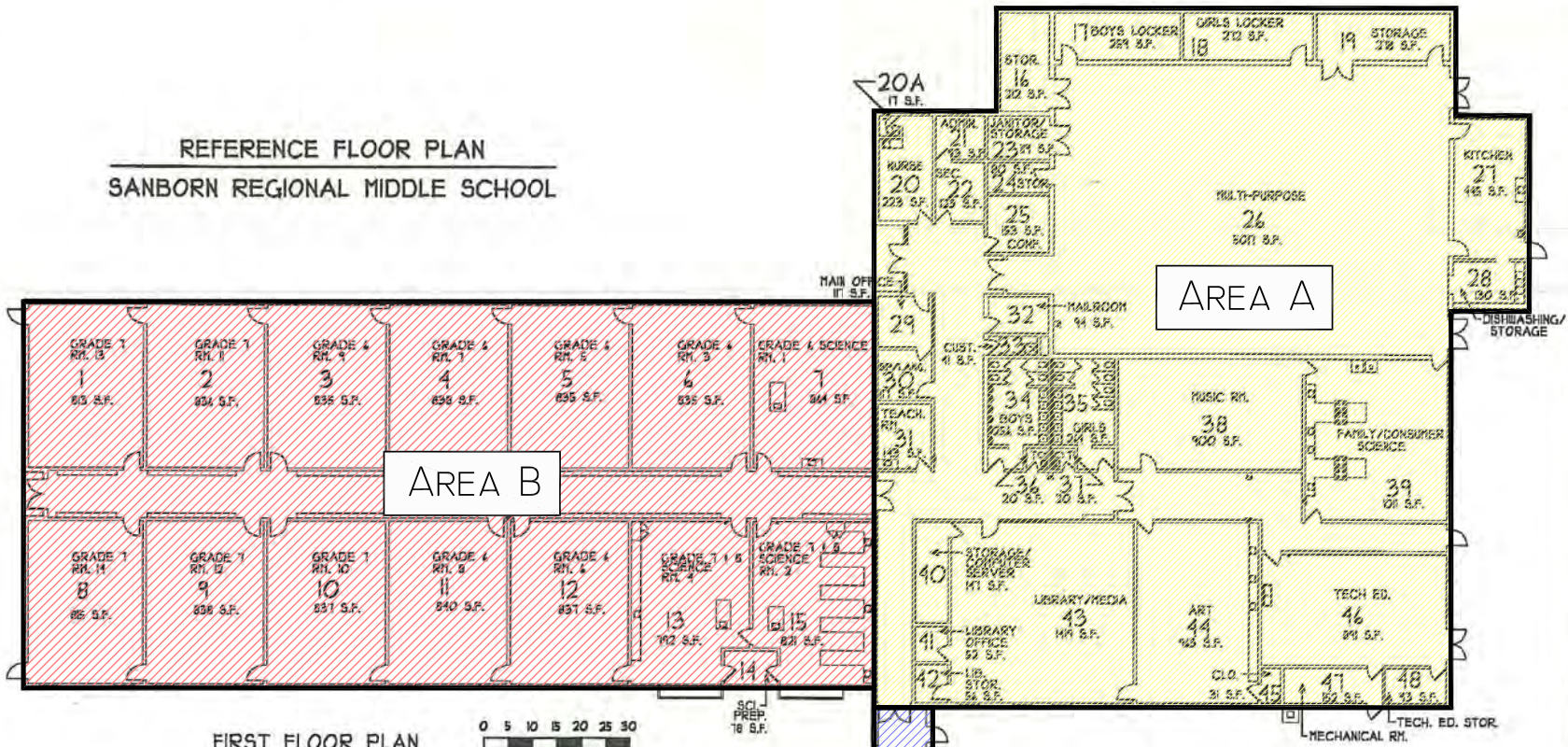
- The exterior storage building vinyl siding, asphalt shingle roof, and hollow metal / overhead doors are deteriorating badly, and should be replaced with products similar to existing. PVC trim should be used in place of wood.



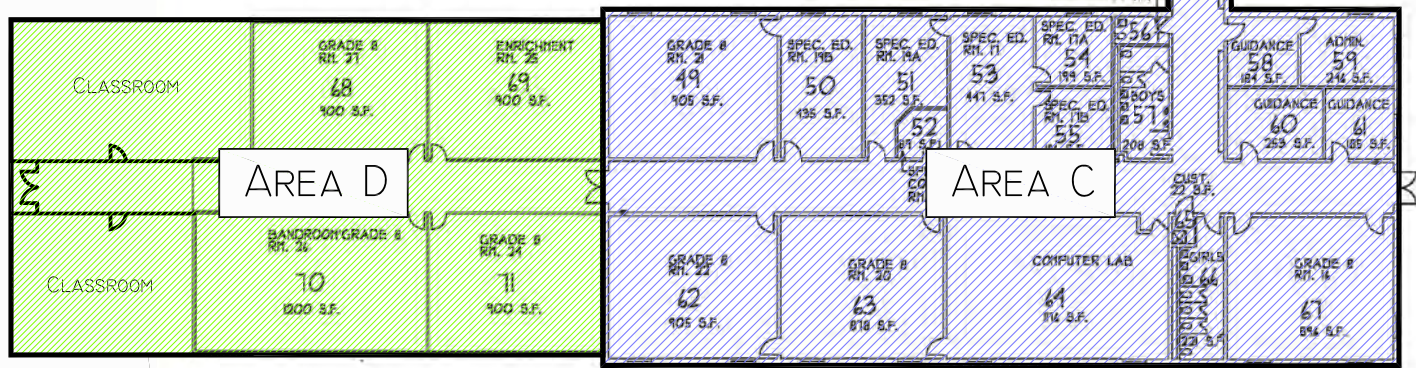
Previously Identified CIP Items:

- Install new DDC mechanical system controls throughout the building to maximize the efficiency of the heating system.
- Install a new addressable fire alarm system in the building.
- Make exterior lighting improvements: new light poles, LED fixtures.
- Asphalt improvements: New coat of asphalt and striping at parking lots.
- Replace septic system leach fields.

REFERENCE FLOOR PLAN
SANBORN REGIONAL MIDDLE SCHOOL

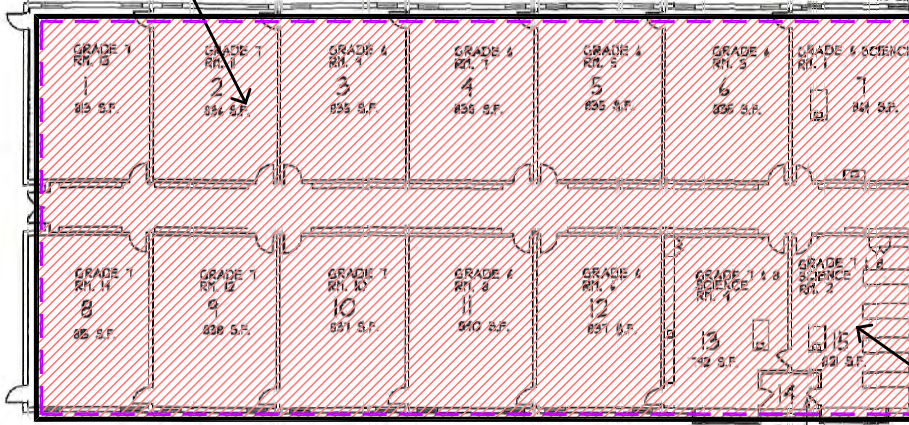


FIRST FLOOR PLAN



**REFERENCE FLOOR PLAN
SANBORN REGIONAL MIDDLE SCHOOL**

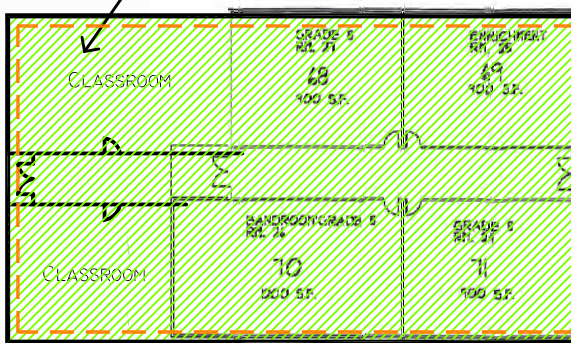
REPLACE CEILING GRID IN CRS
AND CORRIDORS, TYPICAL IN
AREA B (13,400SF)



FIRST FLOOR PLAN



REPLACE VCT AREA D
(6800SF)



REPLACE CARPET:
370SF

REPLACE CASEWORK
IN NURSE: 10LF

REPLACE VCT IN
CORRIDOR: 1000SF

REPLACE CARPET:
200SF

REPLACE FLOORING
IN MPR (5000SF)

NEW QUARRY
TILE @ KITCHEN
(550SF)

PAINT MPR WALLS

REPLACE COUNTERS &
SINKS, 2 TOILET ROOMS
(20LF)

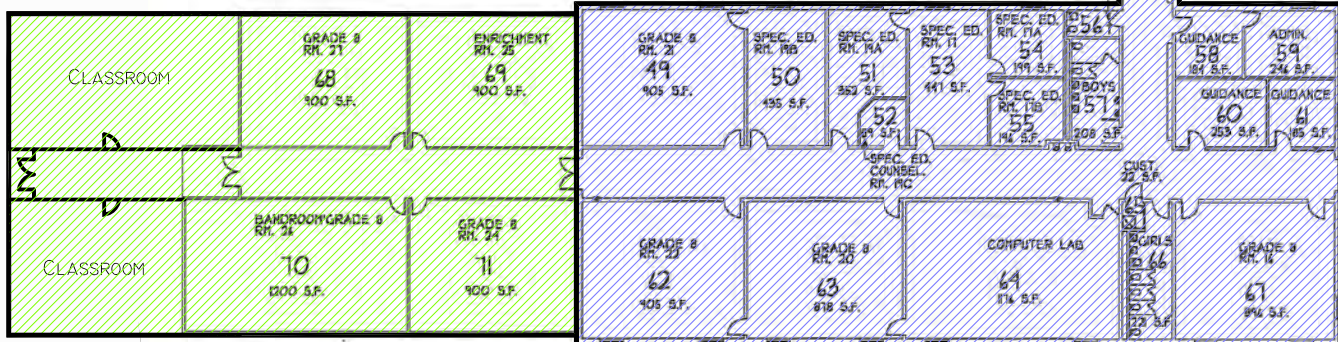
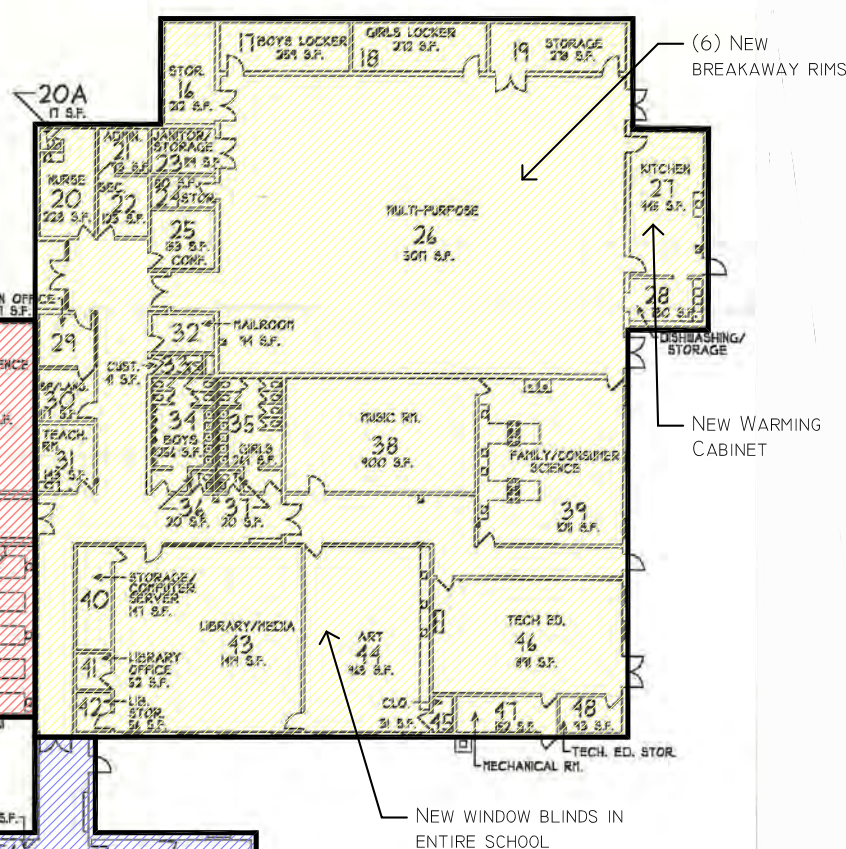
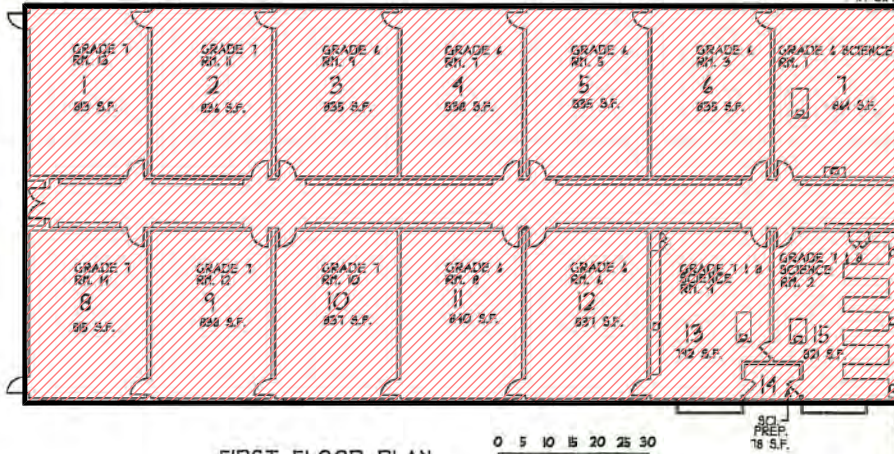
REPLACE CEILING GRID
& TILES IN CRS AND
CORRIDORS, TYPICAL IN
AREA A (8700SF)

REPLACE
CASEWORK IN (3)
CLASSROOMS: 80LF

REPLACE WORK COUNTER IN
(3) CLASSROOMS (95LF)

FINISHES

REFERENCE FLOOR PLAN
SANBORN REGIONAL MIDDLE SCHOOL

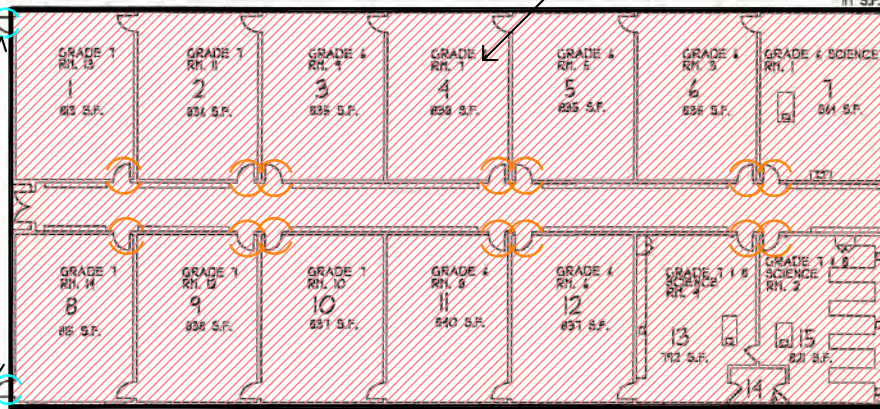


EQUIPMENT & LIGHTING

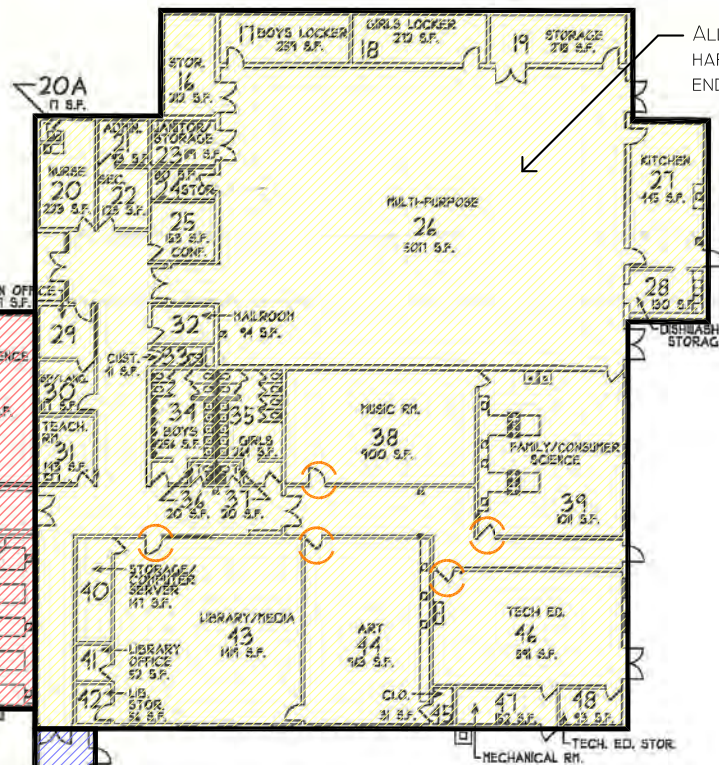
REFERENCE FLOOR PLAN
SANBORN REGIONAL MIDDLE SCHOOL

ALL AREA B
HARDWARE NEAR
END OF LIFE

REPLACE (2)
EXT. DOORS &
FRAMES



FIRST FLOOR PLAN

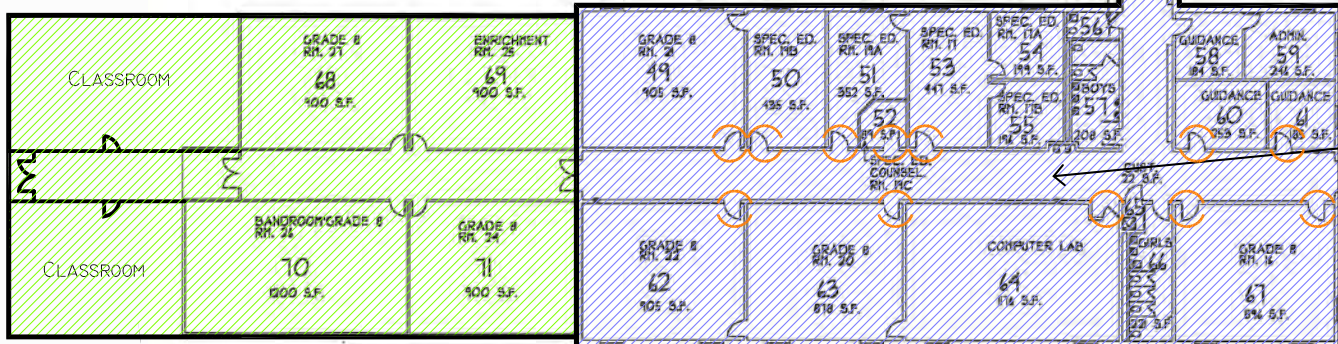


ALL AREA A
HARDWARE NEAR
END OF LIFE

- REPLACE HARDWARE ONLY
- REPLACE FRAME, DOOR & HARDWARE

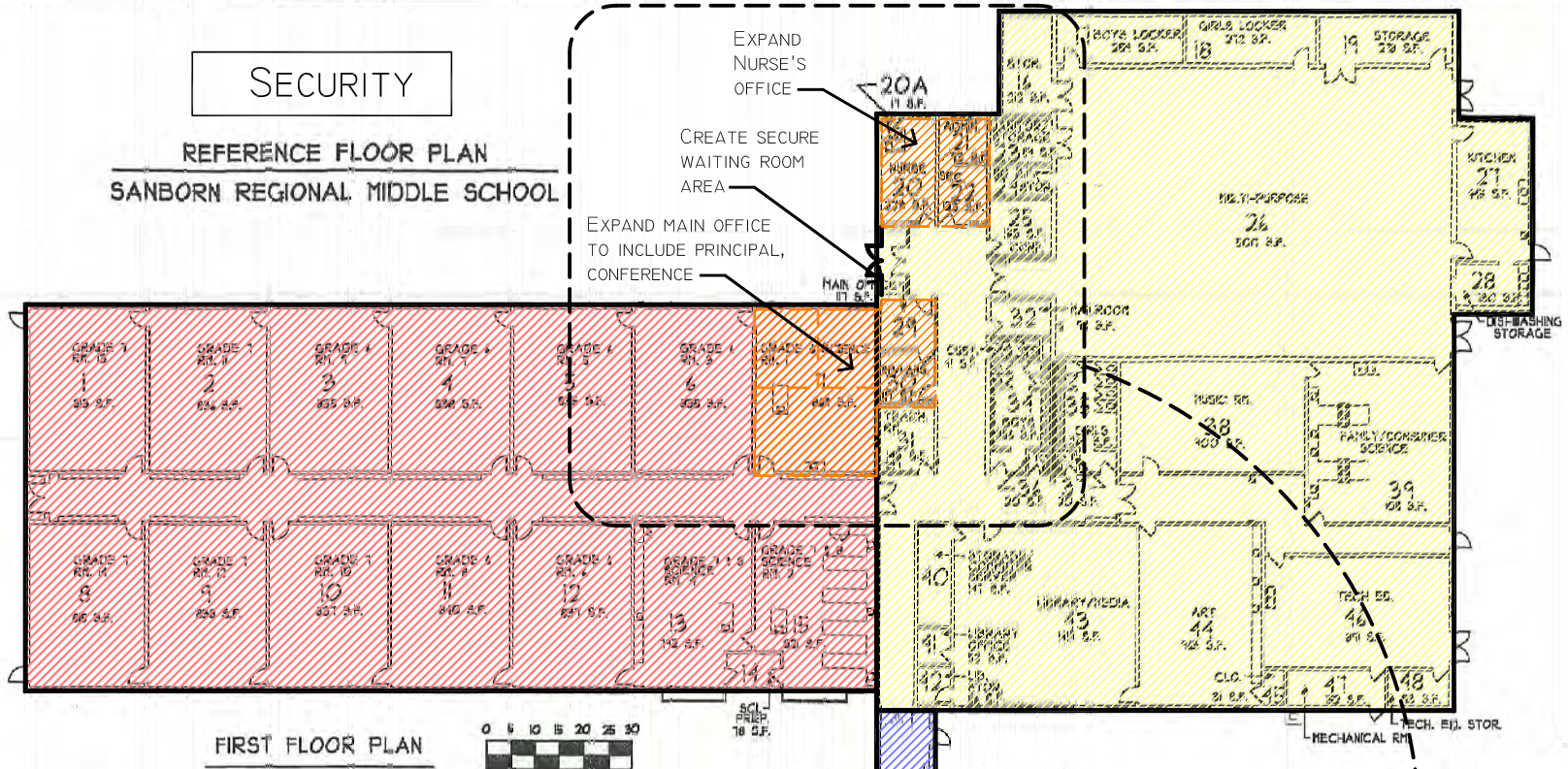
REPLACE ALL CORRIDOR
HARDWARE AREA C

DOORS & HARDWARE

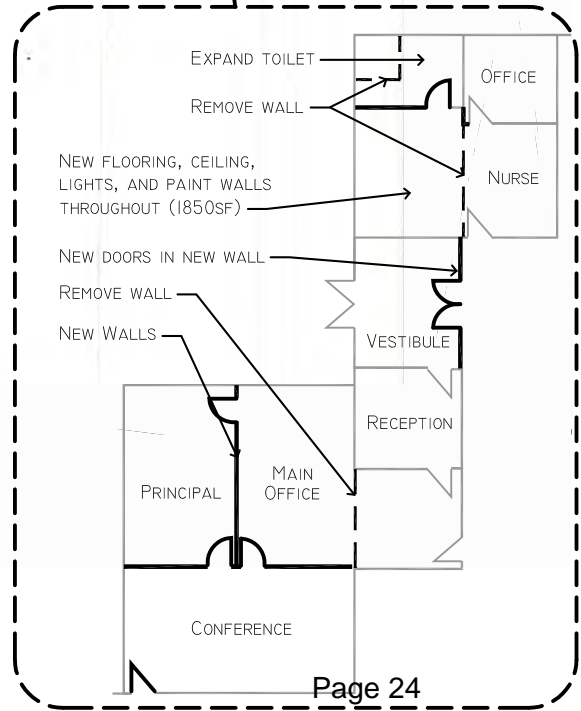
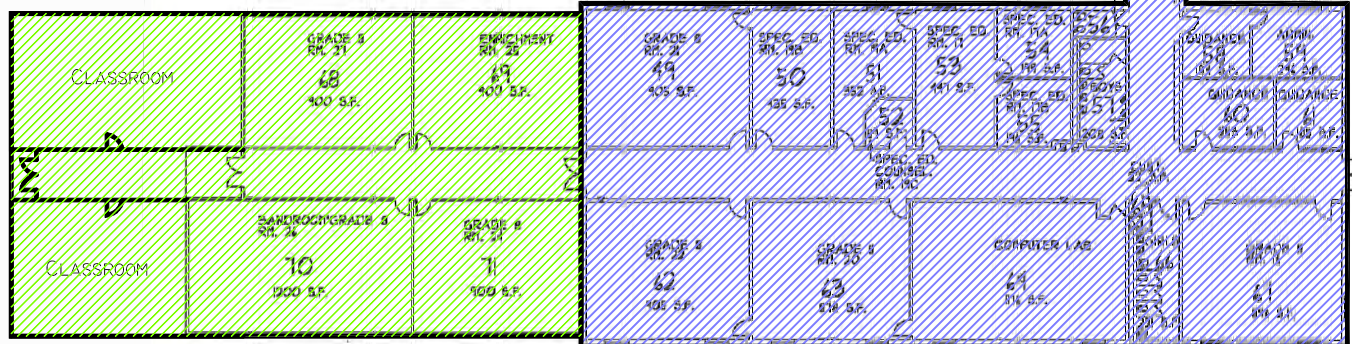


SECURITY

REFERENCE FLOOR PLAN SANBORN REGIONAL MIDDLE SCHOOL



FIRST FLOOR PLAN





REPLACE (2)
EXTERIOR DOORS

REPLACE WINDOWS
AREA B

REPLACE SLOPED
ROOF @ STORAGE
ROOMS

REPLACE
ROOF @
KITCHEN

RECOMMENDED REPLACEMENT
OF PORTABLE CLASSROOMS

REPLACE (14) SKYLIGHTS,
AREA A

REPLACE WINDOWS AREA A

STORAGE BUILDING:
NEW VINYL SIDING
NEW ASHALT SHINGLE ROOF
(2) NEW OVERHEAD DOORS
(1) NEW SINGLE PASSAGE

MIDDLE SCHOOL
EXTERIOR

Sanborn Regional Middle School

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018

Interior			Priority	Unit		Total Cost
Flooring						
	<i>Multi-Purpose Room</i>	Replace w/ sports flooring (demo exist sheet vinyl)	3	5000	sf	\$119,500
	<i>Kitchen</i>	Add quarry tile (over exist. concrete)	3	550	sf	\$18,800
	<i>Classrooms</i>	Area D: replace VCT throughout	5	6800	sf	\$55,700
	<i>Classrooms</i>	Area A & B: replace VCT throughout - abate asbestos	5	22,100	sf	\$238,000
	<i>Offices</i>	Replace carpet @ offices & conference	2	370	sf	\$2,000
Toilet Rooms		New Corian counters/sinks in (2) gang toilets	3	20	lf	\$15,000
Paint		Paint Multipurpose Room walls to ceiling, inc. tectum	5			\$25,500
Ceilings						
	<i>Areas A and B</i>	Replace grid & ceiling tiles (remove fiberglass & add spray foam)	2	22100	sf	\$291,000
		Replace lights with LED fixtures (indirects in CR) with item above:	2			\$195,000
Casework						
	<i>Area A Classrooms</i>	Replace casework (work counter only)	2	95	lf	\$8,400
	<i>Nurse</i>	Replace casework (upper & lower cabinets)	2	10	lf	\$7,500
	<i>Area B Classrooms</i>	Replace casework (upper & lower cabinets)	2	80	lf	\$32,300
Gymnasium Equipment		Replace rims with breakaway	1	5	units	\$6,000
Kitchen Equipment		New warming cabinet	3	1	unit	\$3,600
DDC Controls		Install new DDC controls throughout	2	48000	sf	196000
Fire Alarm		Install new fully addressable fire alarm throughout	2	48000	sf	77000
Windows		Area A & B: Replace (4'x7' window w/ 8sf panel below)	1	38	units	\$148,600
Window Blinds		Replace all (28 sf)	1	64	units	\$12,700
Doors and Hardware						
	<i>Replace hardware only</i>	Replace hardware at single classroom doors	1	32	doors	\$26,900
Portable Replacement		Build a 6 Classroom addition & remove portables	2	6500	sf	\$1,419,000
					SUBTOTAL	\$2,898,500

Sanborn Regional Middle School

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018

Exterior			Priority	Unit		Total Cost
Doors and Hardware		Area B: Replace exterior doors inc. frame (single doors)	3	2	doors	\$9,500
Roofing and Flashing		New asphalt roof @ kitchen (remove exist asphalt)	5	600	sf	\$6,100
		New metal roof @ gym storage (remove exist metal)	5	1200	sf	\$23,700
Misc.		Replace leach field	5			\$100,000
		Asphalt maintenance to driveway	5			\$65,000
		Replace 4'x4' bubble skylights	2	14	units	\$68,900
Maintenance shed		New siding, roof, doors (48'x24'x8'h)	4	1150	sf	\$34,000
Exterior lighting		Exterior lighting upgrades	4			\$40,000
Code Compliance						
<i>ADA Compliance</i>						
ADA Signage		Need Signage	1	68	signs	\$4,080
Building Security						
		Area A renovations to create secure vestibule, expand offices	2	1850	sf	\$177,600
					SUBTOTAL	\$528,880
					TOTAL	\$3,427,380

Sanborn Regional School District – CIP Facilities Study

October 19, 2016



D.J. Bakie Elementary School

General:

Phases: The building has 3 sections, built in 1937, 1955, and 1989. We will refer to them as areas A, B and C.

Scope of this Report:

The intent of this report is to assess the architectural elements of this school for the purpose of updating the school district's Capital Improvement Plan. We toured the school to observe the condition of items such as flooring, ceilings, paint, casework, fixed equipment, windows, doors, hardware, kitchen equipment, exterior building components and roofing. The scope of this study does not include the review of the building's plumbing, mechanical, electrical, communications or security systems, or site improvements. We have, however, listed previously identified and budgeted mechanical / site CIP items for completeness.

Additionally, this report is not intended to be a code analysis of the building. That assessment was done in 1999 by Team Design Inc., and is largely still applicable.

Sprinkler System Requirement Analysis:

The 1999 Building Facilities Analysis performed by Team Design Inc examined this school relative to the life safety codes current at that time. Although there were particular items that did not meet the letter of the code, the existing conditions had been deemed acceptable by the Authorities Having Jurisdiction (AHJ). As there were no significant outstanding violations requiring correction by the AHJ, the existing buildings met the intent of the code, and did not need to be upgraded unless there was a change of use or an addition was planned.

The current codes (2015 NFPA 101 Life Safety Code and 2009 International Building Code) take a similar approach to existing condition in older buildings. The school district staff have indicated that the AHJ has no outstanding items requiring correction. We have contacted the Kingston Fire Chief, and he has confirmed that unless a major renovation or addition is planned, then no upgrades, including the addition of a sprinkler system, are required.

Architectural Elements:

The following architectural elements are in sufficiently good condition that we believe they will not require replacement in the next 5 years, and therefore should not appear on this CIP.

Building Entry Security: The architectural configuration of the main office, vestibule and locking doors at the main entrance appear to meet the needs of the staff, and require no significant redesign.

Classroom & Corridor Finishes: Floors, ceilings, and wall paint are generally in excellent condition. The maintenance staff has a rotating schedule where certain areas of the building are redone on a yearly basis. This appears to be working well, and should be continued. A few areas are showing wear, and those finishes should be replaced as indicated below.

Toilet Room walls, floors, and ceilings are generally in good condition.

Toilet Equipment: Fixtures, countertops, and partitions are in good condition.

Classroom Cubbies: In good condition.

Window Blinds: Good quality roller blinds in good condition.

Exterior Doors & Hardware: In good condition.

Exterior Brick & Precast Concrete: In excellent condition.

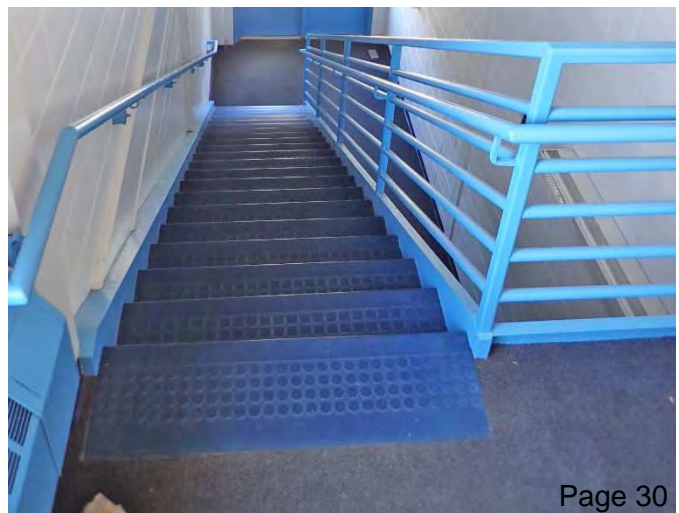
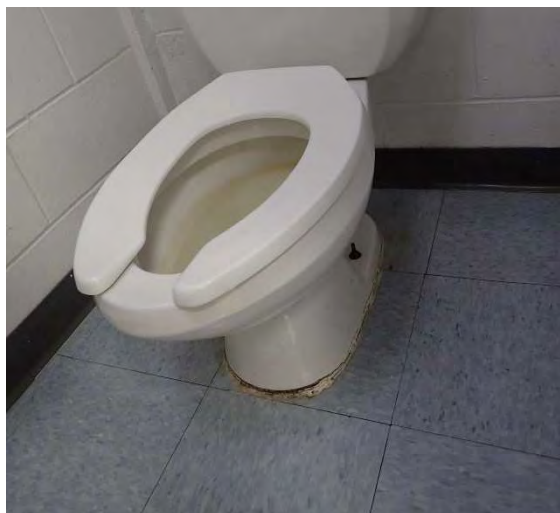
Items to be replaced in the next 5 years:

Flooring:

- Gym Floor: VCT is worn. Demolish old floor, prep slab, install a new VCT floor with inlaid lines.

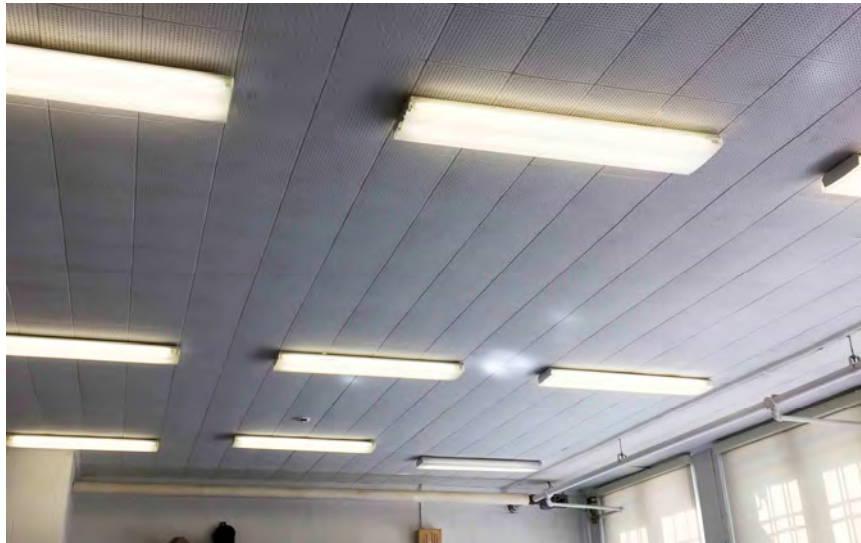


- Toilet room Floors: Two toilet rooms (nurse's toilet and art room toilet) have VCT flooring. Both should be changed to ceramic tile. The shower drain in the Nurse's toilet is not functional, and should be repaired as a maintenance item (not in CIP).
- Stair Floors: The first floor landings in stairs A, B and C are substantially worn. Replace with rubber tile flooring.



Ceilings:

- Replace sagging kitchen ceiling tiles with moisture resistant vinyl faced tile, such as Armstrong “clean room mylar”.
- Replace stained ACT tiles at front conference room.
- The music room is quite loud and has old 1’ x 1’ tiles. To reduce noise, add a suspended acoustic ceiling system below the existing. Replace lights. Move down electrical devices.



- In Area B, ceilings are old and in poor condition. Replace ceiling grid & tiles. New indirect lighting in place of existing.



Casework:

- Replace all casework, sinks & faucets in the building except those in the General Office area and Area B. Because frequent splashing by young students quickly delaminates plastic laminate counters, use solid surface counters & sinks at classrooms.



Gym Equipment:

- Replace basketball rims with new breakaway rims. Replace pads around backboards.

Kitchen Equipment:

- After discussions with the kitchen staff, it was determined that the dishwasher is old and should be replaced, and that the obsolete skillet should be replaced with a new steamer.



- Replace the wood tray slides at the serving line with stainless steel. The hot pan unit at the serving line is worn and needs replacement.



- Walk-in cooler & freezer are at the end of their life. Replace.



Tackboards/Markerboards:

- All tackboards in the school show substantial wear. Most are currently covered to hide staining and peeling. All tackboards should be replaced with vinyl covered boards such as Claridge Fabricork Boards. Marker boards are in good condition.



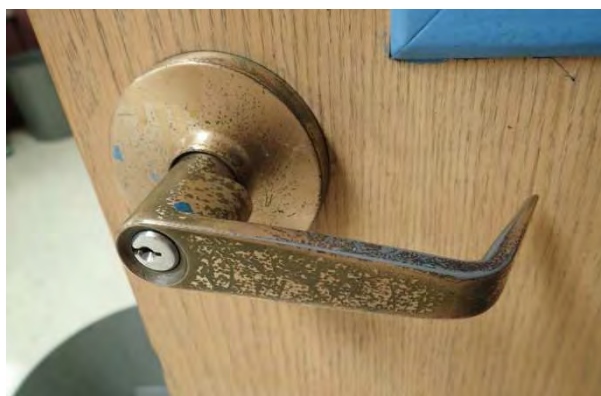
Windows:

- Windows in the 1989 wing are old, starting to operate poorly, and are not energy efficient. Replace with new heavy duty commercial aluminum windows.



Doors and Hardware:

- Most of the school's door hardware dates to 1989. The majority of door levers are loose and do not work properly. Many hinges are loose and in need of constant maintenance to keep doors operating. Many classroom doors are in poor condition due to binding at the frame and from being propped open with wedges. Replace all classroom-to-corridor doors and hardware in areas B & C. New hardware to include mortise locksets, Roton hinges, and the classroom safety locking function, which is now standard in schools.





- Many original doors in Area A contain glass that is neither tempered nor wire glass, and should be replaced.
- Doors to the Multipurpose Room have thumb latches that do not meet ADA standards, and replacing hardware, closers and panic hardware on old doors typically results in the need to provide new doors too. Replace doors & hardware.



- Area A Corridor doors need upgraded hardware. See plan for locations.

- The doors and storefront at Area B are single pane and uninsulated. Replace vestibule and exterior doors with new insulated doors and frames.



Exterior Masonry Veneer Caulking:

- Caulking at brick control joints is beginning to fail, with significant cracks starting to open up. This caulking should be replaced. Caulking at the new windows is in excellent condition.



- Repair the concrete retaining wall outside the Media Center.
- Repair exterior stair at Stair A. Concrete is crumbling.



Roofing:

- The Area B roof will need to be replaced in the next 5 years.



- The metal roofs at the three stair wells of Area C reportedly leak, and appear to be a hazard as they drop snow and water on the doors below. The leaking is likely due to the sloping flashing condition, which doesn't penetrate the cavity wall. At a minimum the roofs should be replaced, and the flashing corrected. The best solution would be to eliminate the sloping condition, and change these areas to flat membrane roofs which would capture snow and ice. This would involve taking off the existing roofs, building up the block / brick walls to the correct height, and adding new roof structure, insulation and roofing on top, with new roof drains.





Stage Access

- While we did not perform a comprehensive ADA analysis, one obvious issue is handicap access to the stage. The stage is so small that there is no practical way to gain access with a ramp or built-in handicap lift within the stage space. It appears that there are more exit doors than required from the Multi-Purpose Room, and the short corridor between the Stage and the Nurse could be converted to a space for a lift and stair, which is our recommendation.





Stage stair is not Handicap accessible

Toilet Rooms:

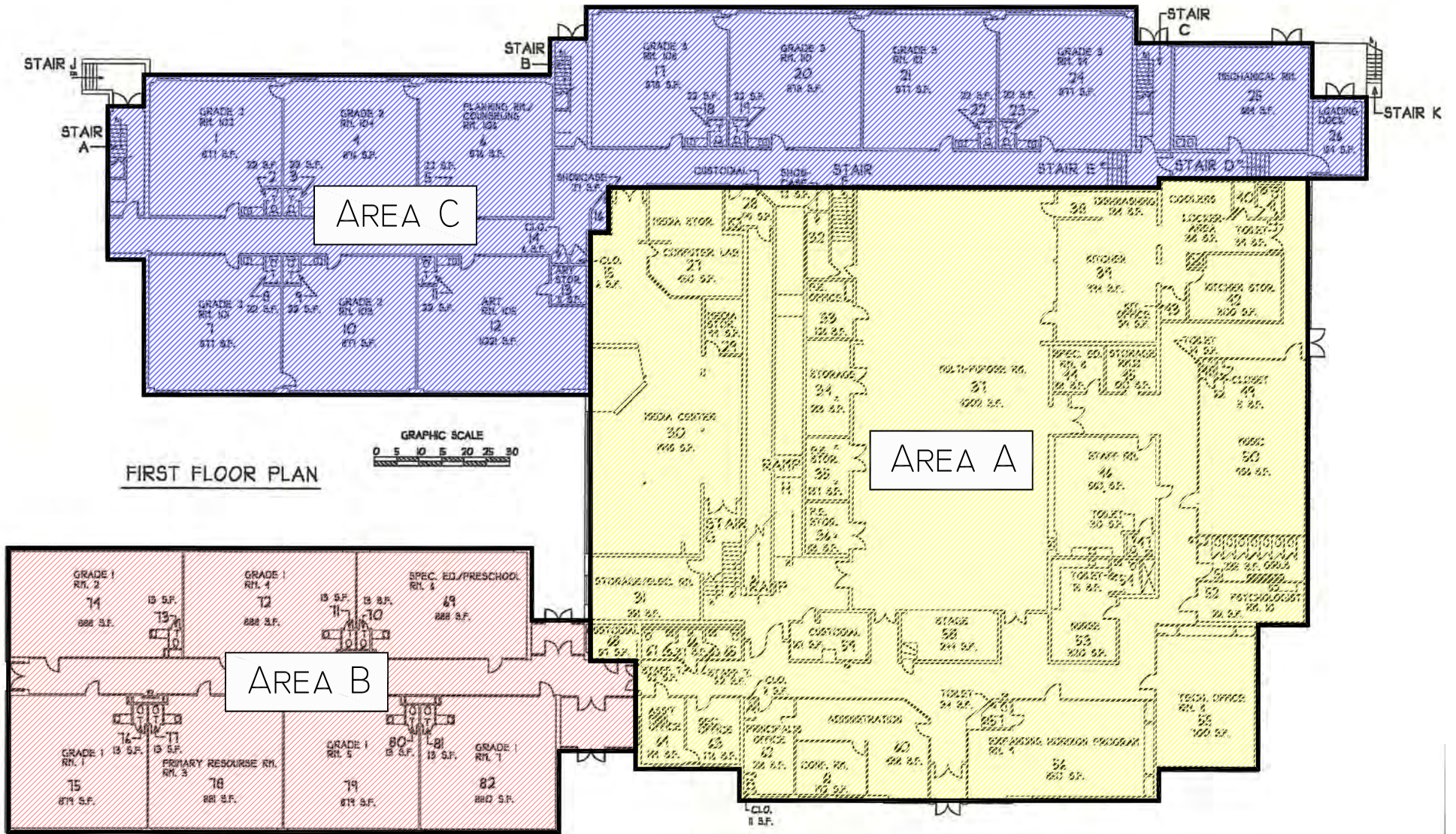
- There is currently no ADA compliant toilet on the 2nd floor as required by the Americans with Disabilities Act. Create a new HC accessible toilet carved out of existing space.
- There are (18) tank-type toilets in the school, many of which have failed or leak. Replace these toilets with new toilets.

Room Signage

- Add ADA compliant room signage and fire exit route signs at all rooms. None now exists.

Previously Identified CIP Items:

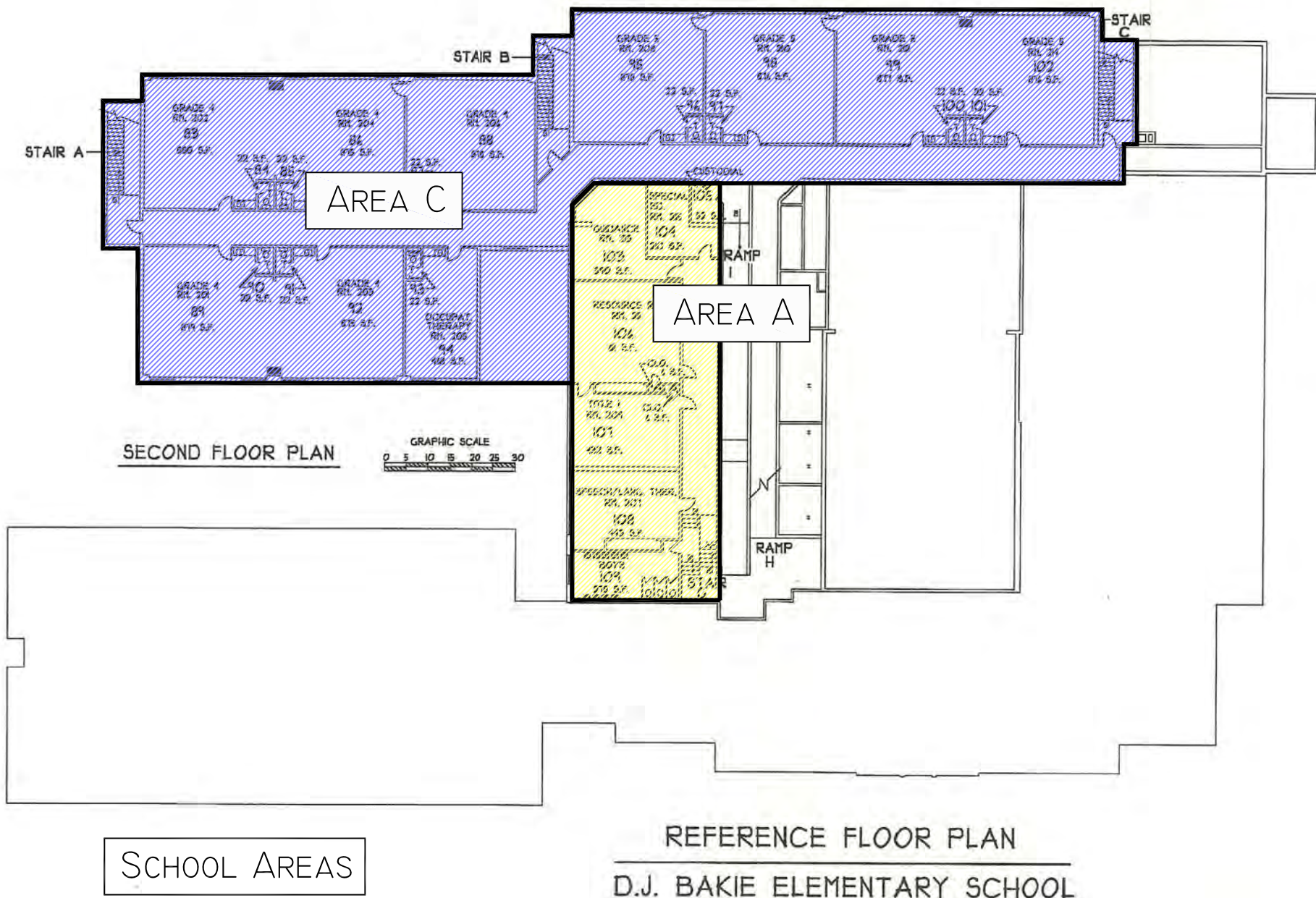
- Install new DDC mechanical system controls throughout the building to maximize the efficiency of the heating system.
- Install a new addressable fire alarm system in the building.
- Asphalt improvements: New coat of asphalt and striping at parking lots.
- Replace septic system leach fields.
- Make oil tank upgrades as required by DES.

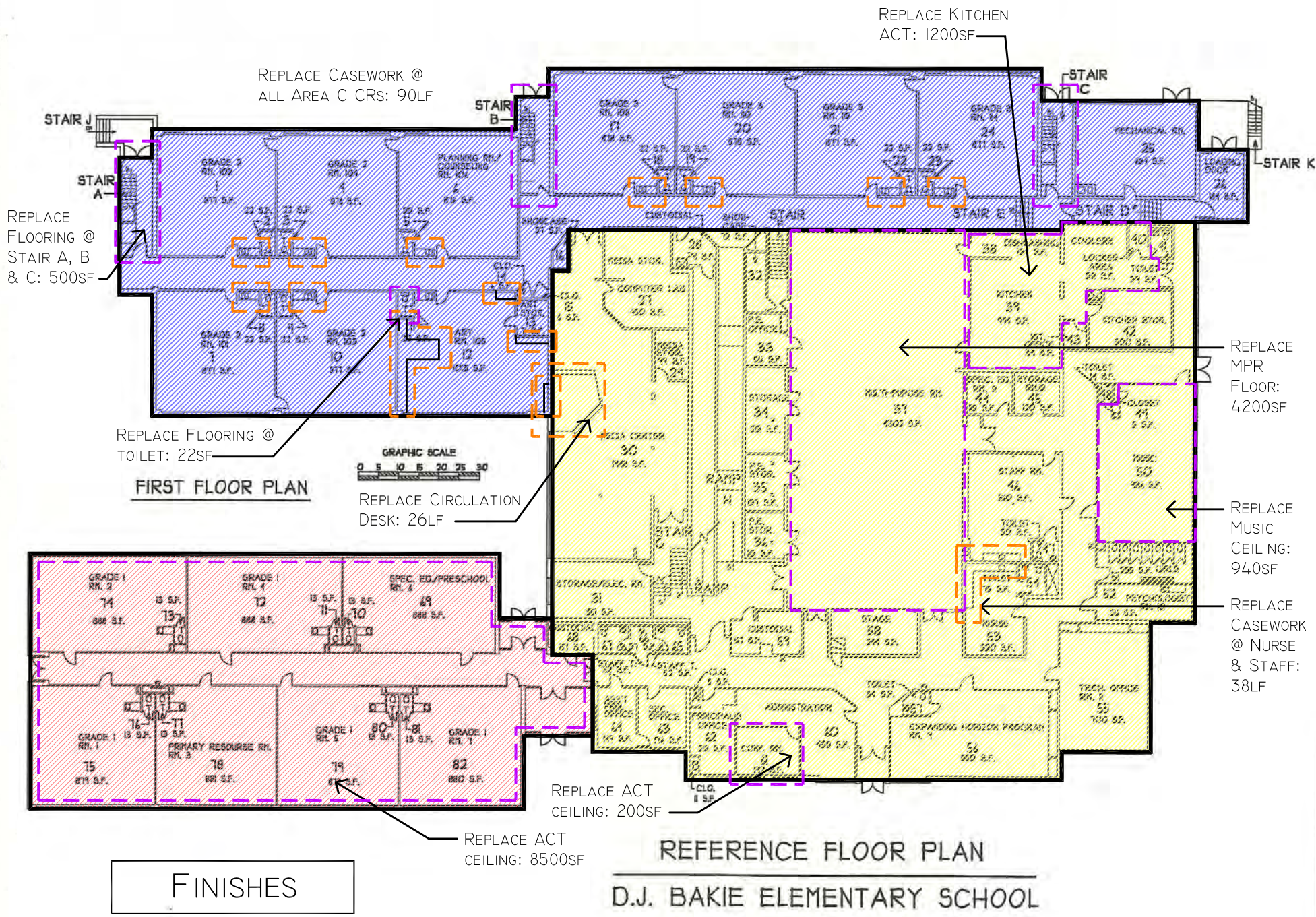


FIRST FLOOR PLAN

SCHOOL AREAS

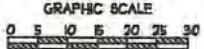
REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL





REPLACE FLOORING @
TOILET: 22SF

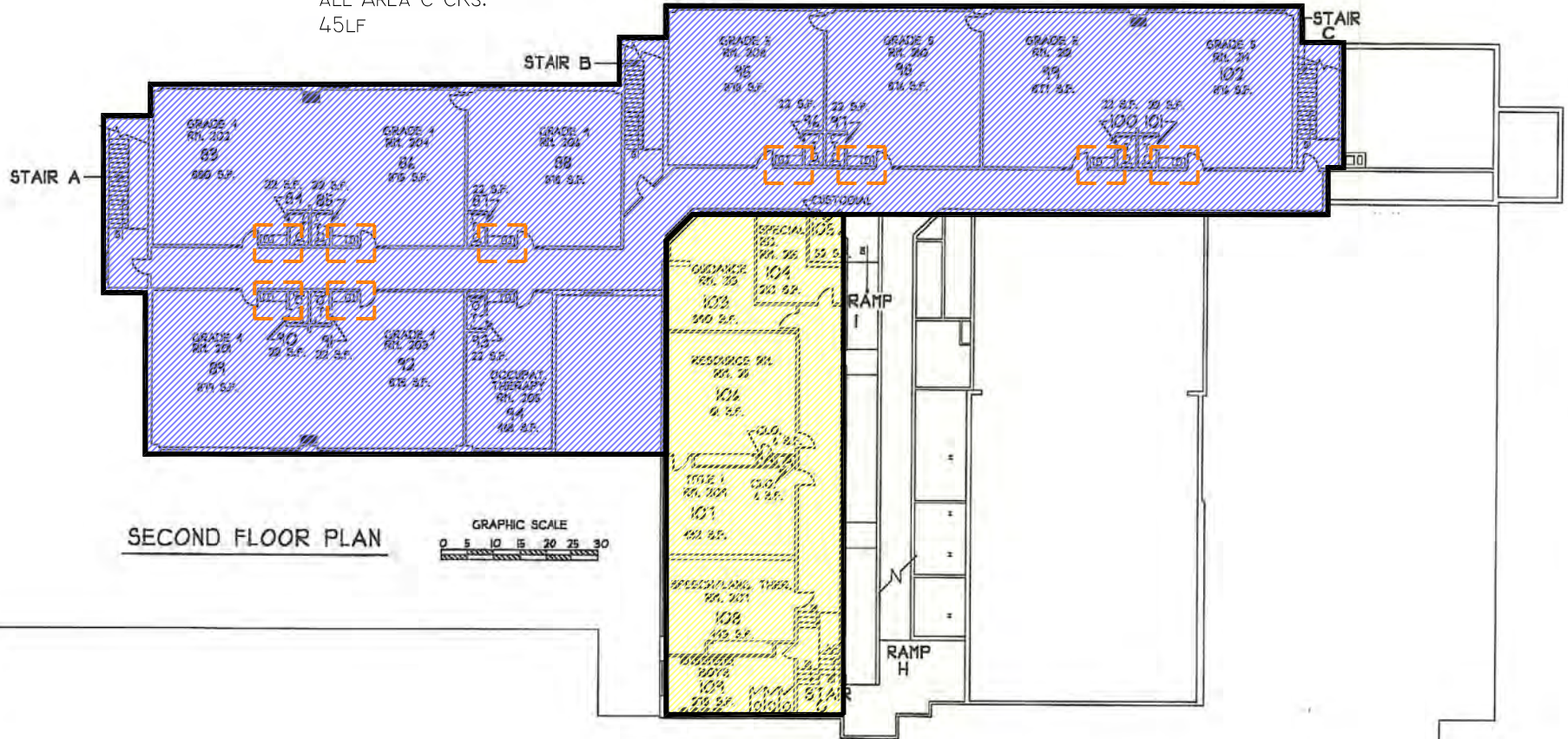
FIRST FLOOR PLAN



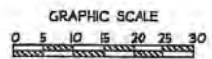
REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL

FINISHES

REPLACE CASEWORK @
 ALL AREA C CRS:
 45LF



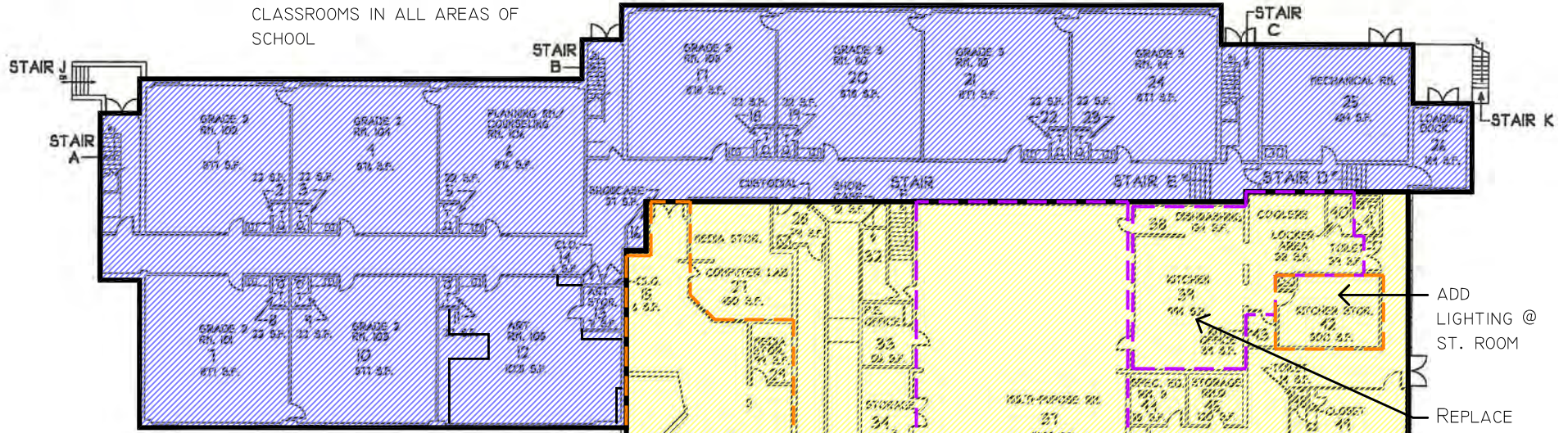
SECOND FLOOR PLAN



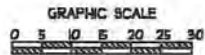
FINISHES

REFERENCE FLOOR PLAN
 D.J. BAKIE ELEMENTARY SCHOOL

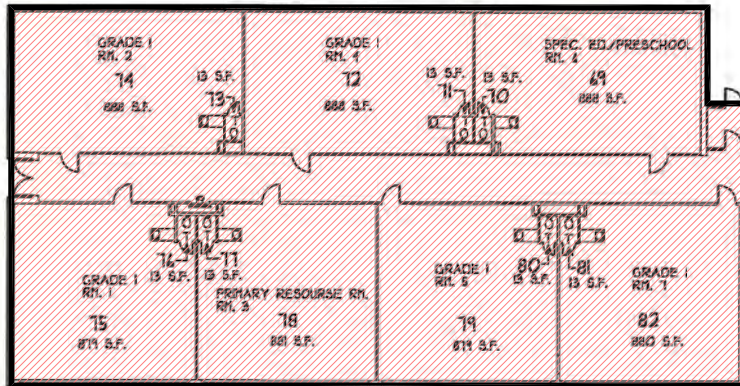
REPLACE TACKBOARDS IN ALL CLASSROOMS IN ALL AREAS OF SCHOOL



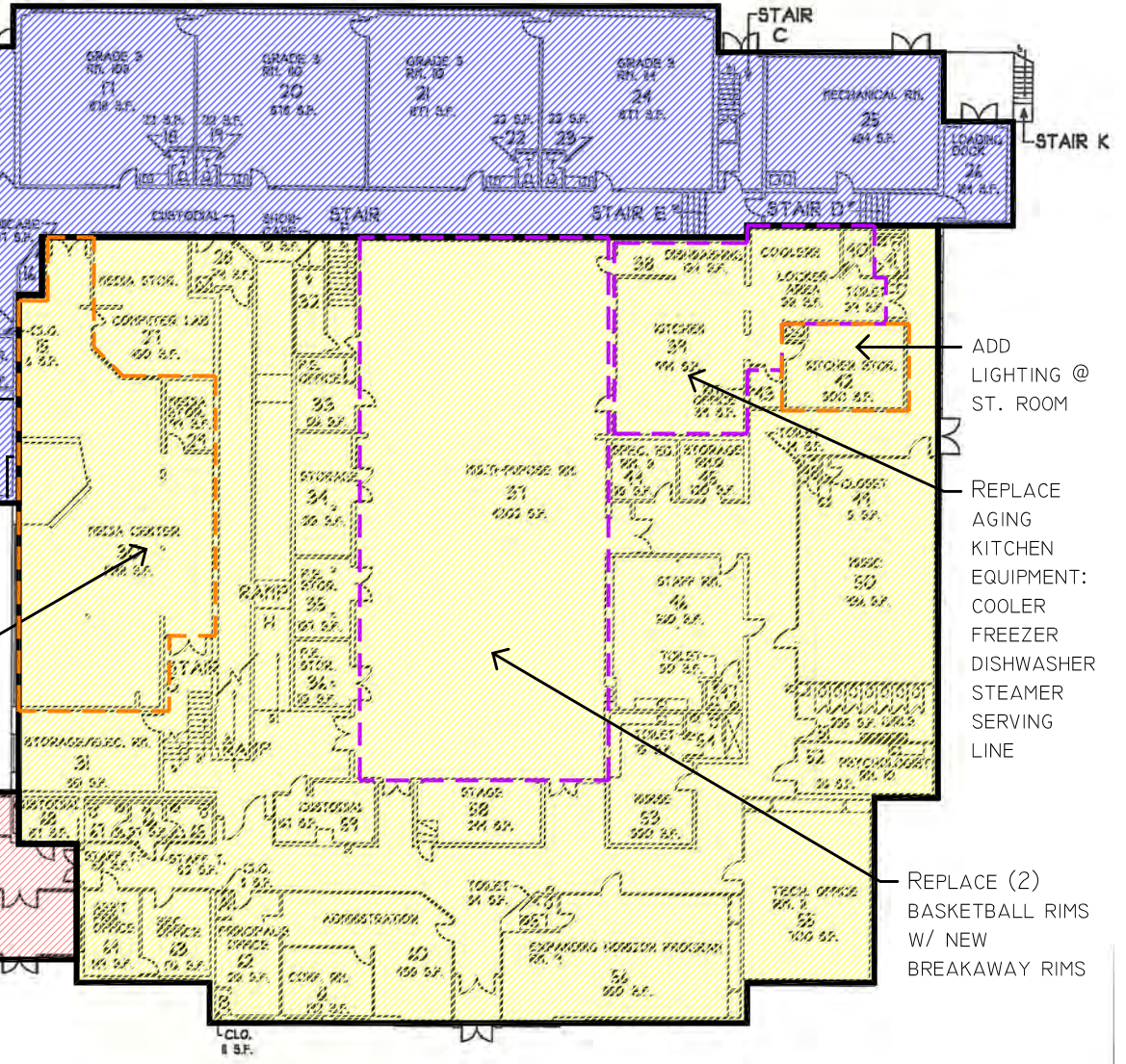
FIRST FLOOR PLAN



UPGRADE LIGHTING IN MEDIA CENTER



EQUIPMENT & LIGHTING



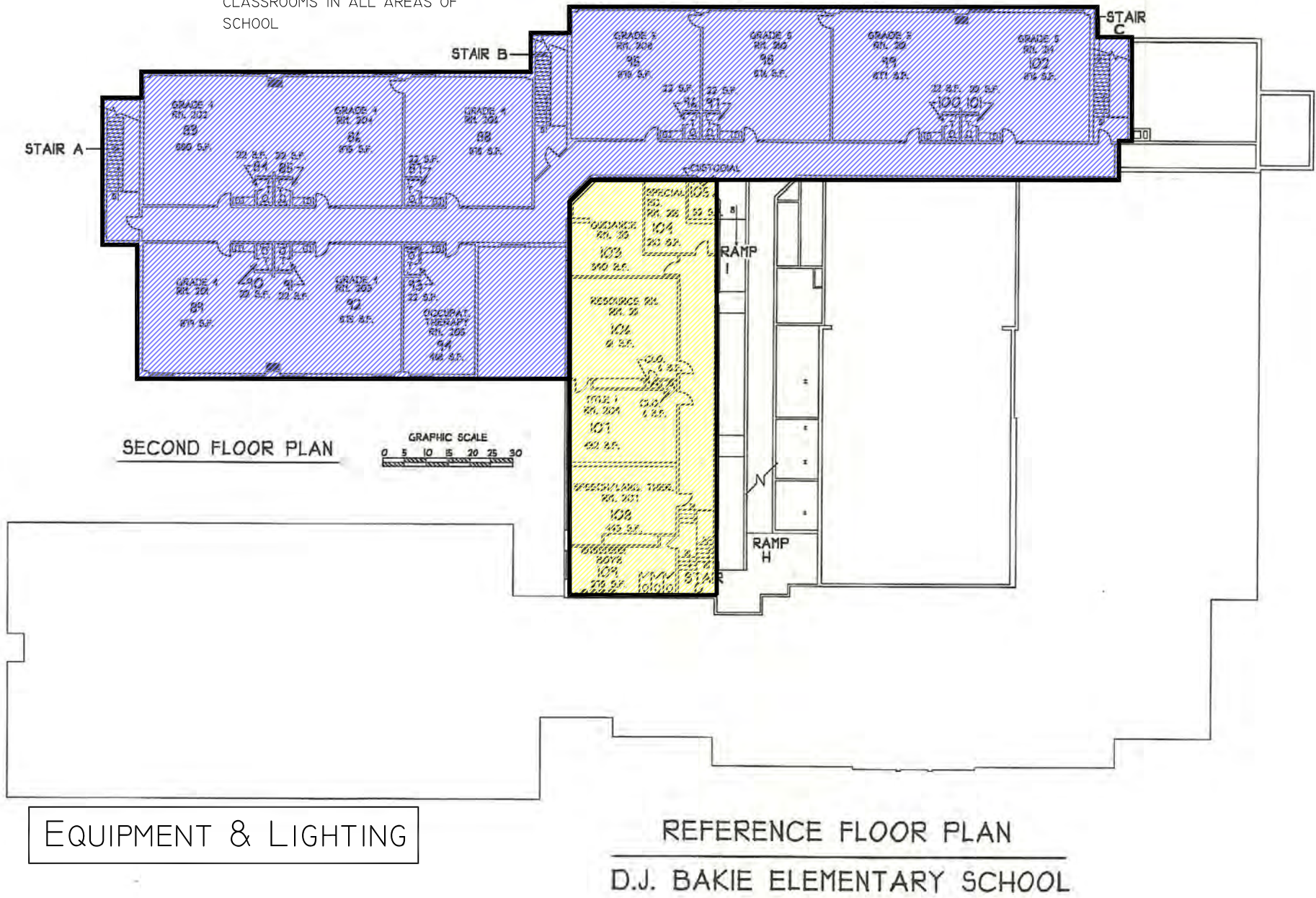
REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL



ADD LIGHTING @ ST. ROOM

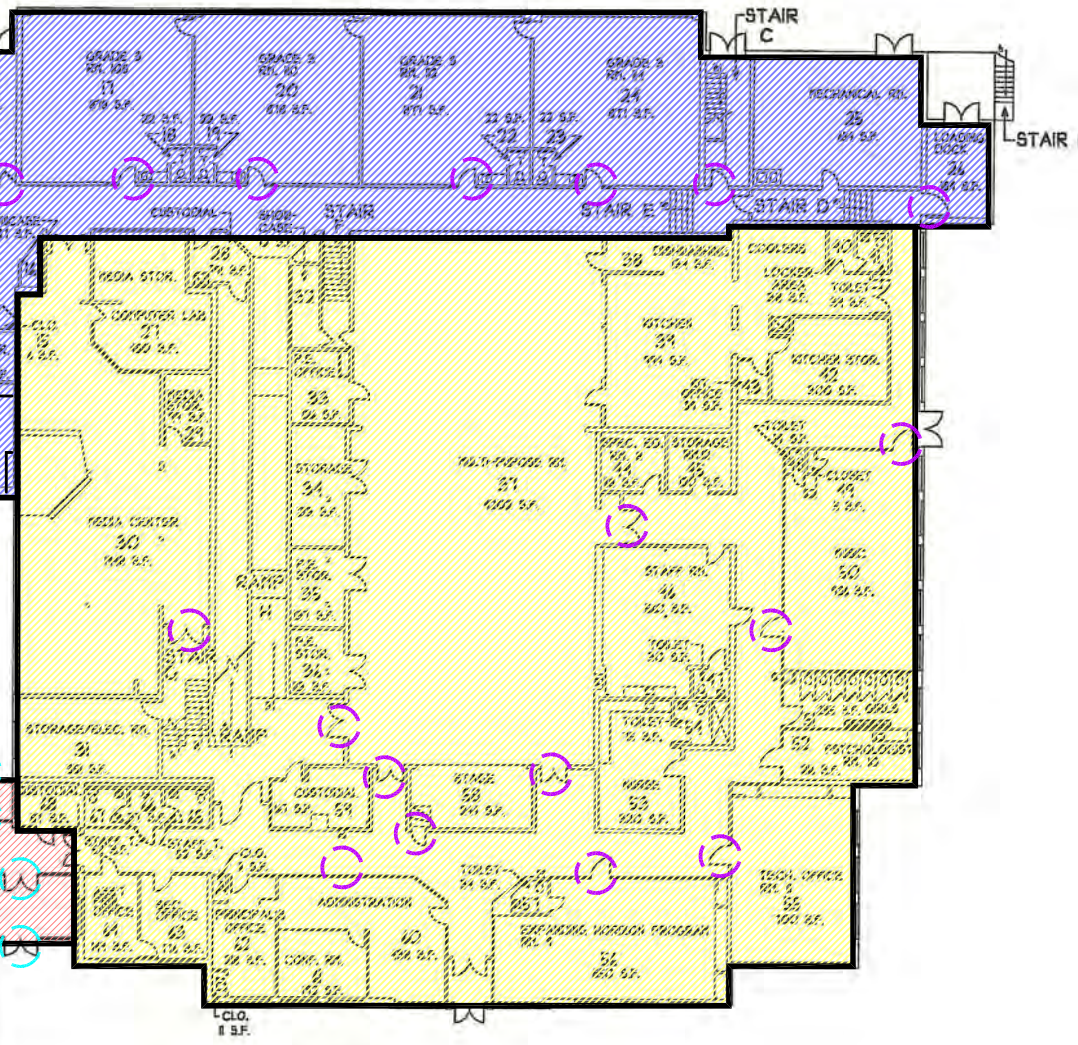
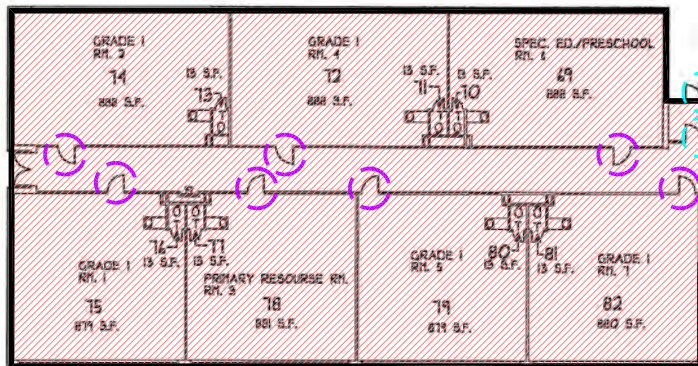
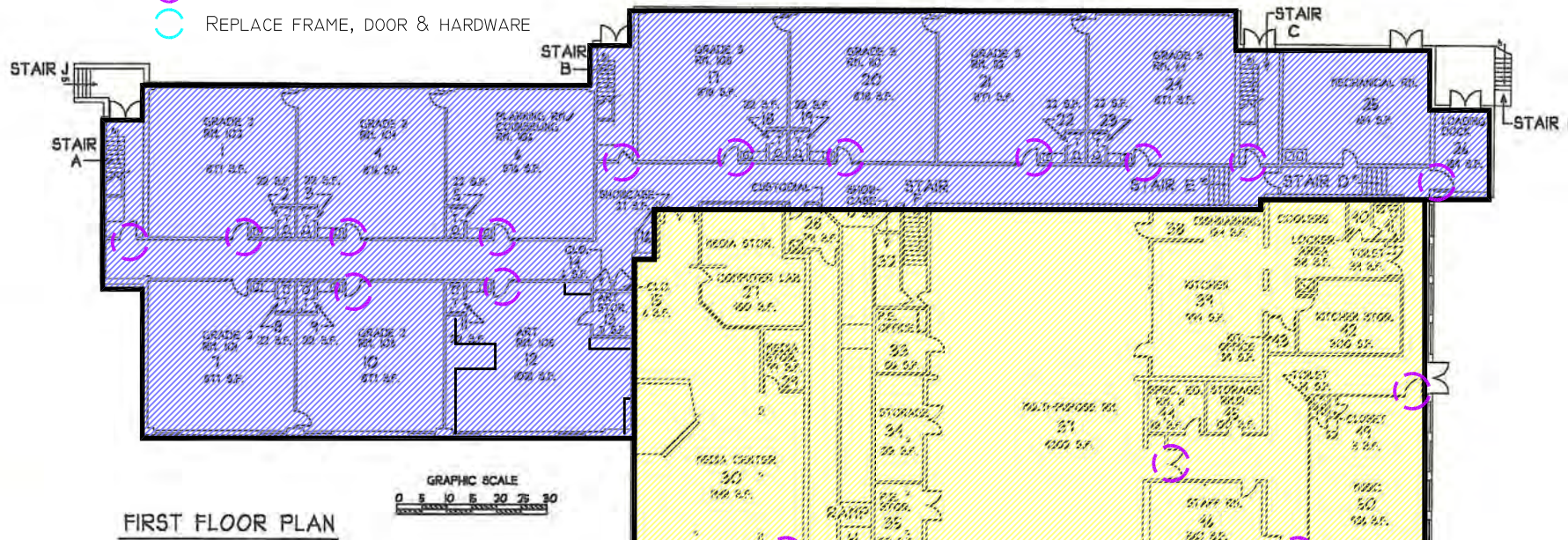
REPLACE AGING KITCHEN EQUIPMENT:
COOLER
FREEZER
DISHWASHER
STEAMER
SERVING LINE

REPLACE (2) BASKETBALL RIMS W/ NEW BREAKAWAY RIMS

REPLACE TACKBOARDS IN ALL
CLASSROOMS IN ALL AREAS OF
SCHOOL

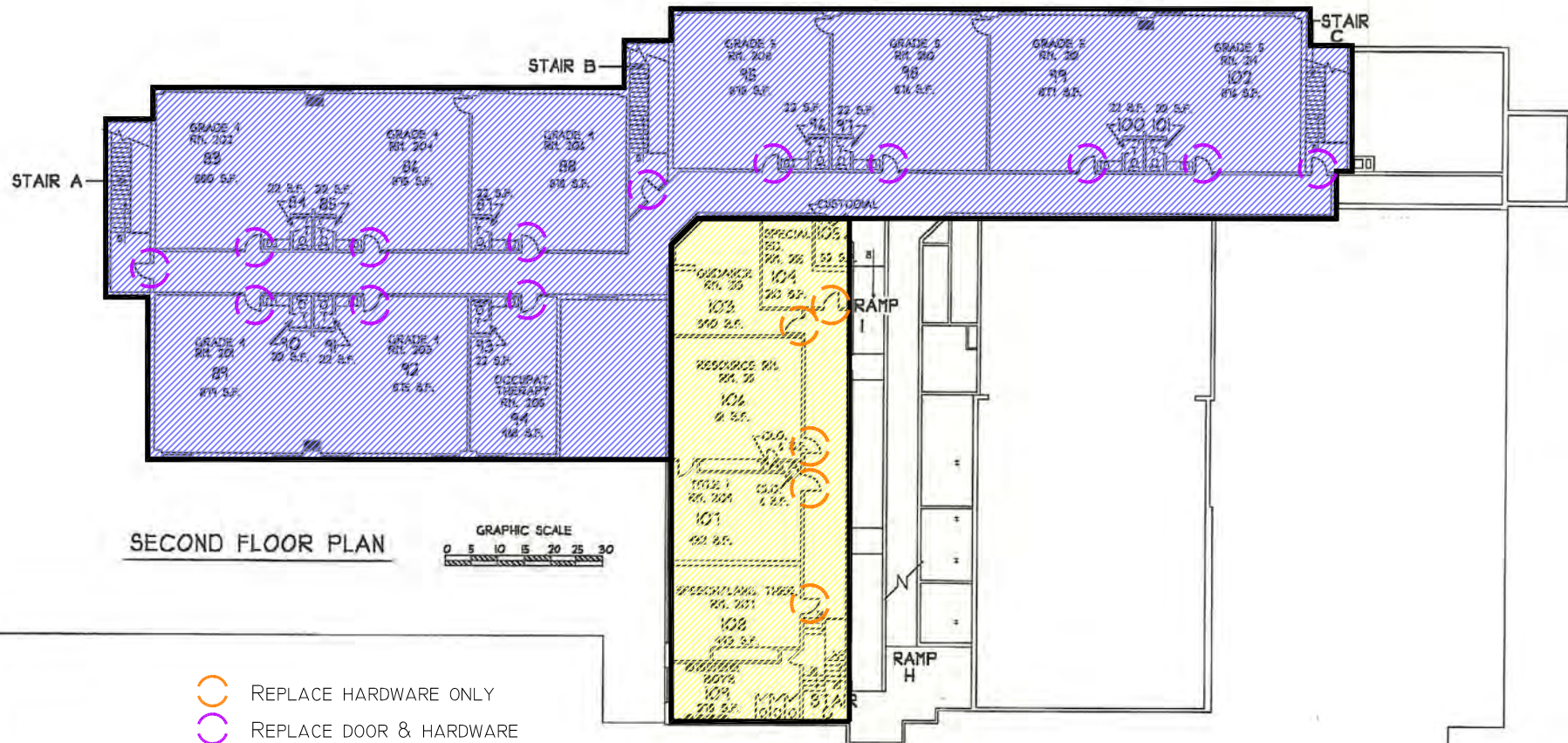


-  REPLACE HARDWARE ONLY
-  REPLACE DOOR & HARDWARE
-  REPLACE FRAME, DOOR & HARDWARE



DOORS & HARDWARE

REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL



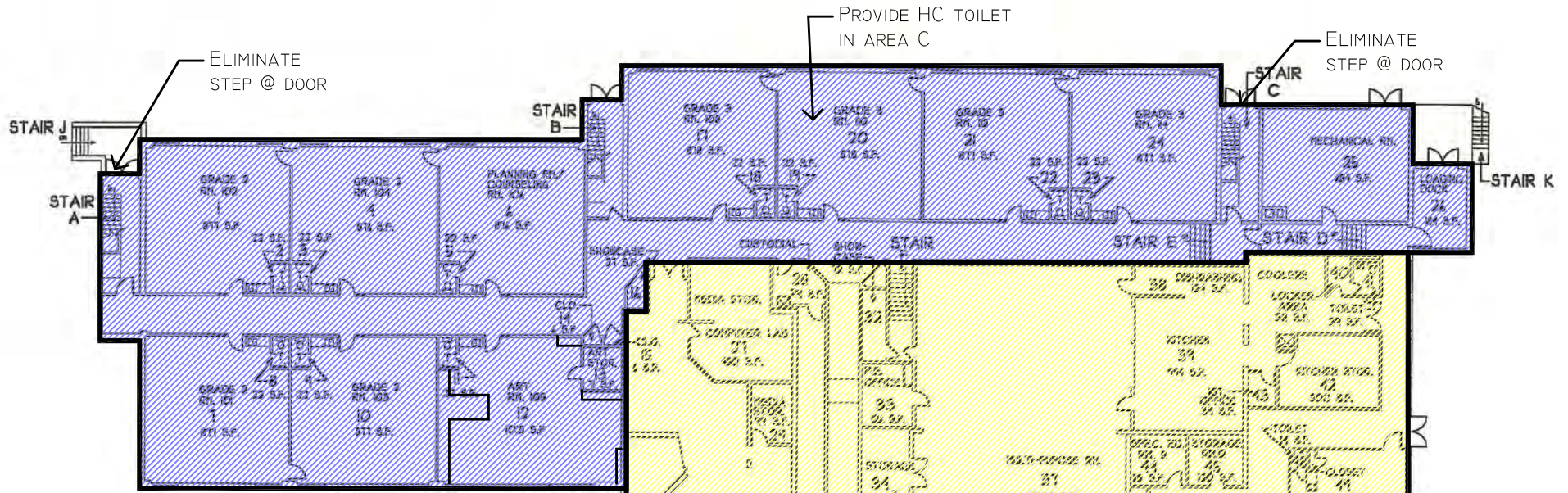
SECOND FLOOR PLAN



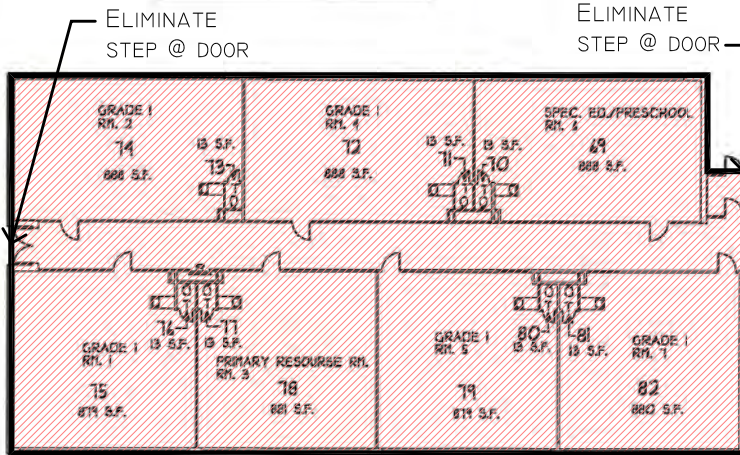
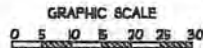
- REPLACE HARDWARE ONLY
- REPLACE DOOR & HARDWARE
- REPLACE FRAME, DOOR & HARDWARE

DOORS & HARDWARE

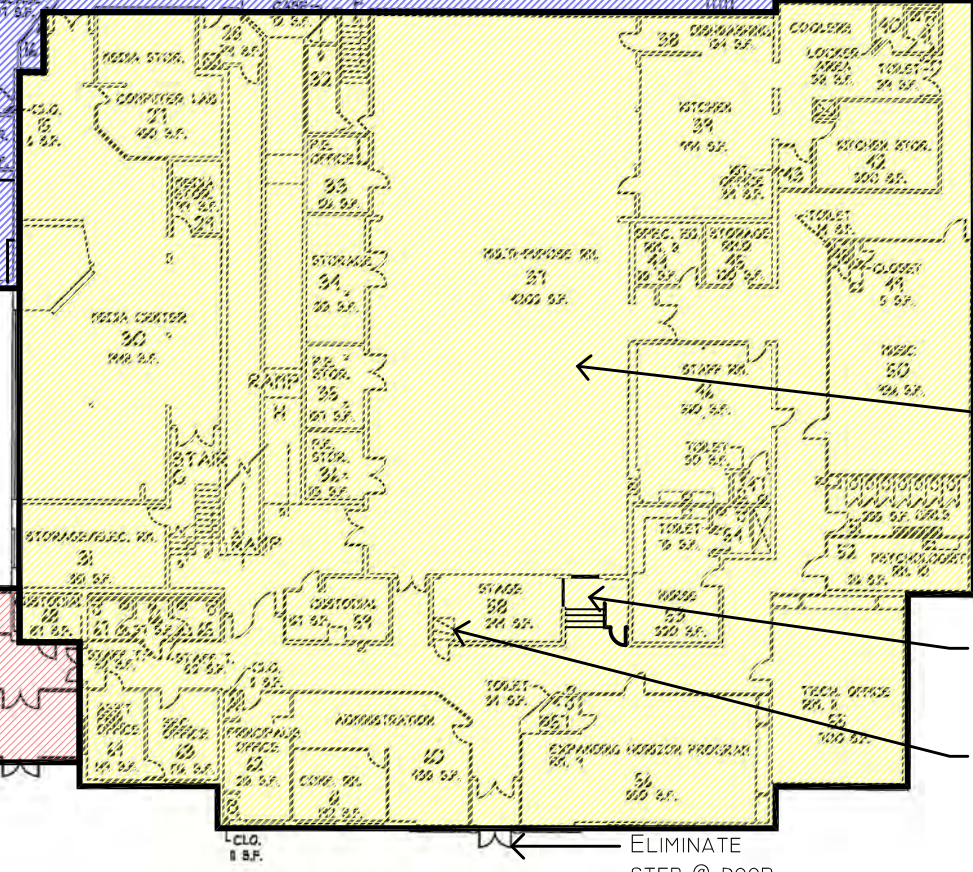
REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL



FIRST FLOOR PLAN



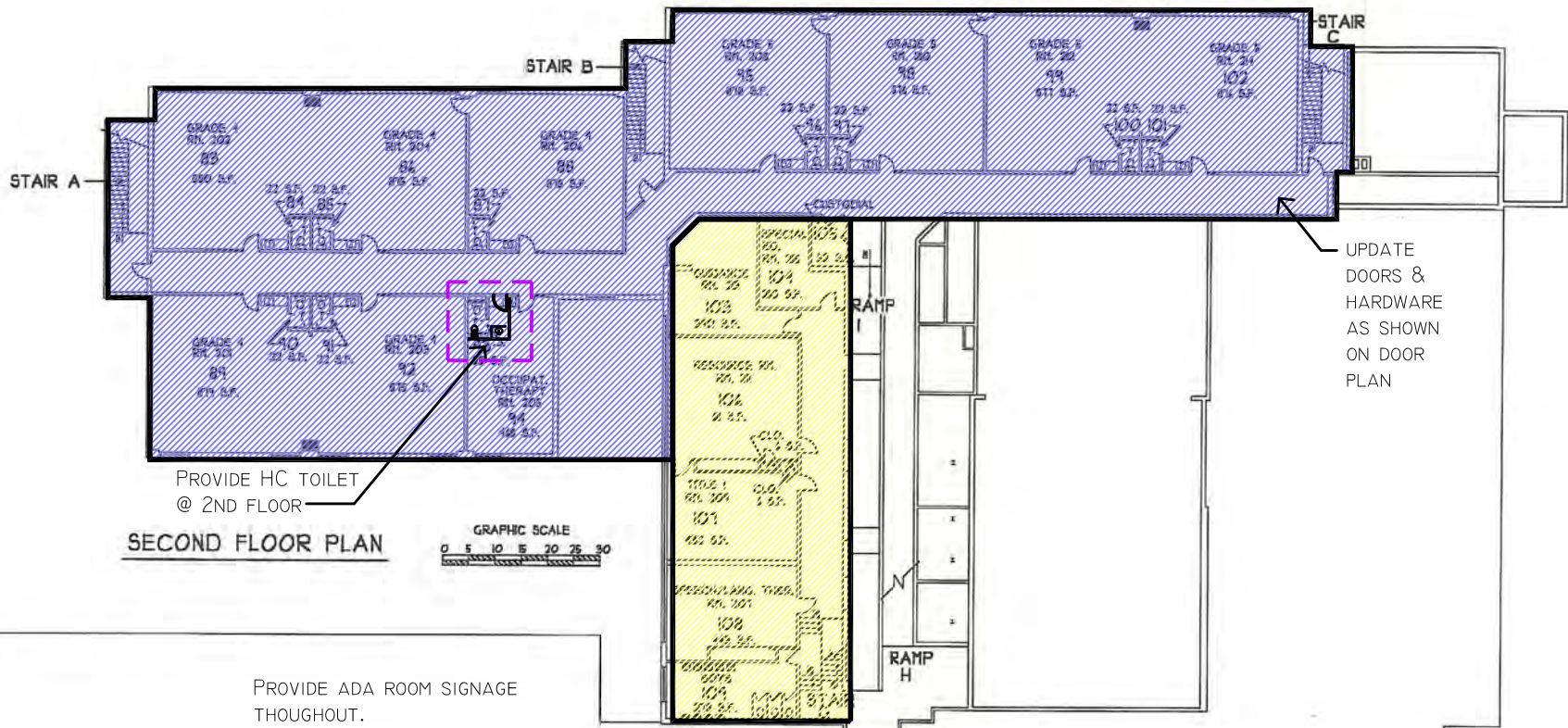
CODE COMPLIANCE



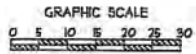
REFERENCE FLOOR PLAN

D.J. BAKIE ELEMENTARY SCHOOL

PROVIDE ADA ROOM SIGNAGE THOUGHTOUT.
PROVIDE FIRE EXIT SIGNS THROUGHOUT.



SECOND FLOOR PLAN



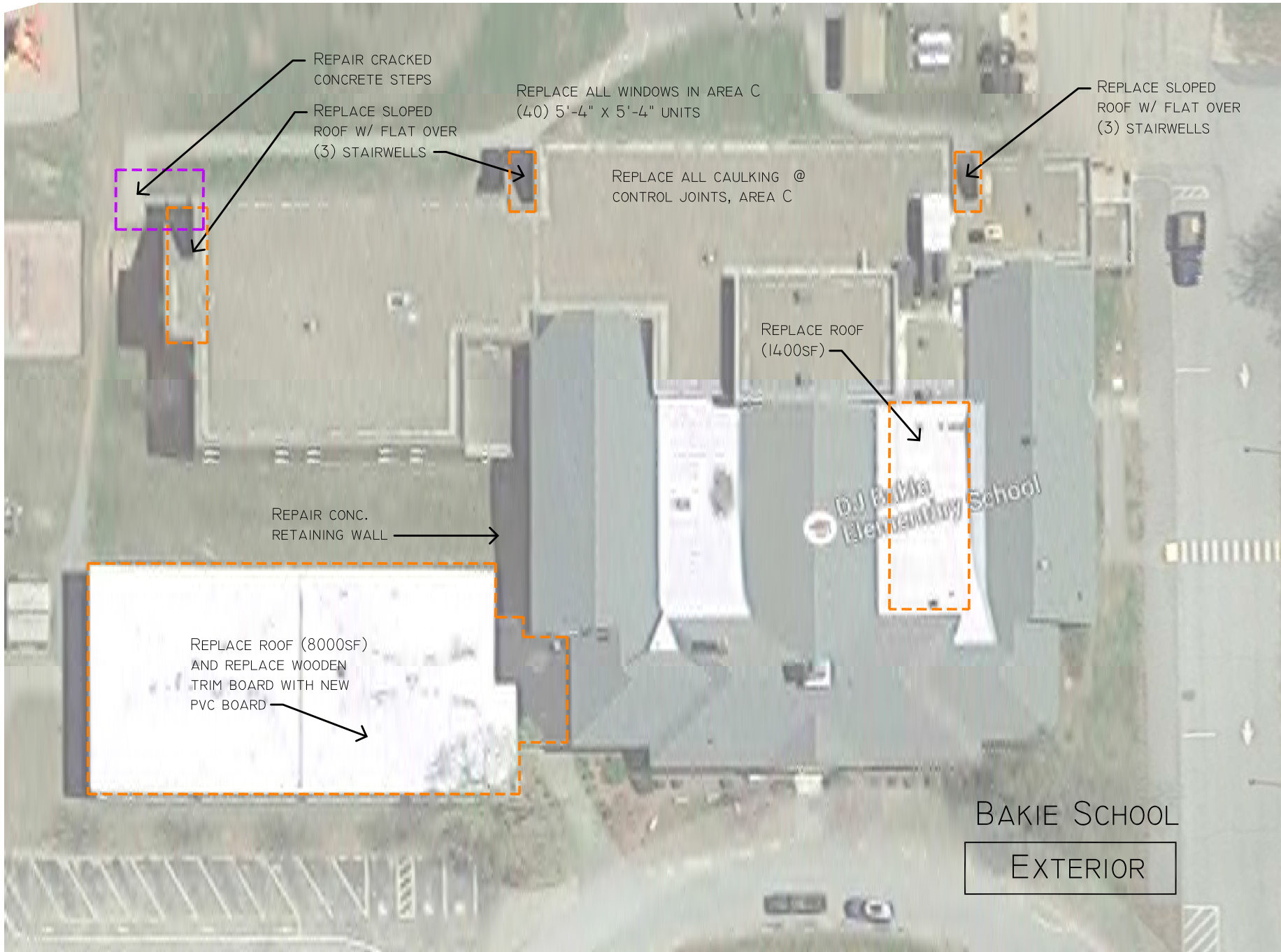
PROVIDE HC TOILET
@ 2ND FLOOR

UPDATE
DOORS &
HARDWARE
AS SHOWN
ON DOOR
PLAN

PROVIDE ADA ROOM SIGNAGE
THROUGHOUT.
PROVIDE FIRE EXIT SIGNS
THROUGHOUT.

CODE COMPLIANCE

REFERENCE FLOOR PLAN
D.J. BAKIE ELEMENTARY SCHOOL



BAKIE SCHOOL
EXTERIOR

Bakie School

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Interior			Priority	Unit		Total Cost
Flooring						
	<i>Multi-Purpose Room</i>	New VCT w/ inlaid line package (Remove exist)	3	4200 sf		\$38,900
	<i>Stairs</i>	Stair A, B & C @ 1st floor new rubber (Remove exist)	4	500 sf		\$10,000
	<i>Toilets</i>	Rm 11 & nurse's toilet: new ceramic tile floor (Remove exist vct)	2	50 sf		\$2,300
Ceilings						
	<i>Kitchen</i>	New moisture resistance tiles in exist grid	2	1200 sf		\$6,000
	<i>Offices</i>	Conf. room replace tiles in exist. grid	2	200 sf		\$2,000
	<i>Music Room</i>	New grid, tiles & LED indirect lights (Under exist ceiling)	3	940 sf		\$15,900
	<i>Area B Classrooms</i>	New grid, tiles & LED indirect lights (Remove exist)	3	8500 sf		\$163,000
Lighting						
	<i>Media Center</i>	Replace light fixtures with LED troffers	4	1950 sf		\$15,400
	<i>Kitchen Storage</i>	Room is dark, add fixtures	4	300 sf		\$2,200
Casework						
	<i>Media Center</i>	Replace circulation desk	2	26 lf		\$12,000
	<i>Nurse</i>	Replace casework	2	10 lf		\$11,300
	<i>Staff Room</i>	Replace casework	2	28 lf		\$3,800
	<i>Area D Classrooms</i>	Replace all classroom casework & sinks (solid surface counters)	2	135 lf		\$66,400
Gymnasium Equipment		New breakaway rims & new padding	1	2 units		\$3,000
Kitchen Equipment		Replace walk-in cooler & freezer	3	2 units		\$36,000
		Replace dishwasher	3			\$21,600
		New Steamer	3			\$21,600
		Replace serving line components: wood tray slides & hot pan unit	1			\$7,200
Toilets		Replace all classroom toilets with new	3	18 units		\$21,300
DDC Controls		Install new DDC controls throughout	2	59000 sf		\$230,000
Fire Alarm		Install new fully addressable fire alarm system throughout	2	59000 sf		\$92,000
Marker/Tackboards		Replace tackboards in all CRs	5	32 rooms		\$85,300
Windows		Area C: Replace all windows (5'4" x5'4")	4	40 units		\$158,200
Window Blinds		New in Area C (28sf each)	4	40 units		\$7,900
					SUBTOTAL	\$1,033,300

Bakie School continued						
Interior continued			Priority	Unit		Total Cost
* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Doors and Hardware						
<i>Replace door & panic hardware</i>	(5) double doors (add roton hinge)		1	5 set		\$17,400
<i>Replace hardware only</i>	(10) single doors (add roton hinge)		1	10 set		\$8,400
<i>Replace door & hardware</i>	(33) classroom-to-corridor doors (add roton hinge)		1	33 set		50500
Exterior						
Sealants	Area D: Replace caulk @ control joints		2			\$15,200
Roofing and Flashing	Area C: Replace flat IRMA roofing		3	10000 sf		\$180,000
	Replace pitched roofs over stairs with flat @ 3 locations		3	550 sf		\$79,000
Concrete	Repair retaining wall outside Media C.		1			\$4,100
	Repair ext. stairs @ exit 5		1			\$2,500
	Build up sidewalk @ exits 1, 3, 4, 5, & 7 (12lf of 8' sidewalk)		1	60 lf		\$6,600
Trim	Replace eave trim (remove wood, new 1x8 pvc)		3	380 lf		\$10,800
Exterior	Replace leach field		5			\$100,000
	Asphalt maintenance to driveway		5			\$65,000
	State-mandated upgrades to existing underground oil tank		1			\$35,000
Code Compliance						
ADA Signage	Need Signage throughout		1	120 signs		\$7,200
Fire Safety Compliance	Need fire exit signs		1	80 signs		\$800
Stage Access	Add new HC lift & new stairs. Demo exist. stair		1			\$47,900
HC accessible toilet	Add new single HC toilet @ 2nd floor		1			\$26,200
					SUBTOTAL	\$656,600
					BAKIE TOTAL	\$1,689,900

Sanborn Regional School District – CIP Facilities Study

October 19, 2016



Memorial Elementary School

General:

Phases: The building has 5 sections, built in 1956, 1960, 1964, and 1989, as well as 2 portable buildings. We will refer to them as Areas A, B, C, D and E. Building Area = 39,000 s.f.

Scope of this Report:

The intent of this report is to assess the architectural elements of this school for the purpose of updating the school district's Capital Improvement Plan. We toured the school to observe the condition of items such as flooring, ceilings, paint, casework, fixed equipment, windows, doors, hardware, kitchen equipment, exterior building components and roofing. The scope of this study does not include the review of the building's plumbing, mechanical, electrical, communications or security systems, or site improvements. We have, however, listed previously identified and budgeted mechanical / site CIP items for completeness.

Additionally, this report is not intended to be a code analysis of the building. That assessment was done in 1999 by Team Design Inc., and is largely still applicable.

Sprinkler System Requirement Analysis:

The 1999 Building Facilities Analysis performed by Team Design Inc examined this school relative to the life safety codes current at that time. Although there were particular items that did not meet the letter of the code, the existing conditions had been deemed acceptable by the Authorities Having Jurisdiction (AHJ). As there were no significant outstanding violations requiring correction by the AHJ, the existing buildings met the intent of the code, and did not need to be upgraded unless there was a change of use or an addition was planned.

The current codes (2015 NFPA 101 Life Safety Code and 2009 International Building Code) take a similar approach to existing condition in older buildings. The school district staff have indicated that the AHJ has no outstanding items requiring correction. We have contacted the Newton Fire Chief, and he has confirmed that unless a major renovation or addition is planned, then no upgrades, including the addition of a sprinkler system, are required.

One item that we did notice which directly affects life safety of the children is that the casement windows in Area C do not meet the required clear opening of 20" wide, and thus do not qualify as "emergency egress windows", which are required by code in a non-sprinkled building. This would be corrected when those windows are replaced by double hung windows, which is a CIP recommendation.

Architectural Elements:

General Finishes: Floors, ceilings, and wall paint are generally in excellent condition. The maintenance staff has a rotating schedule where certain areas of the building are redone on a yearly basis. This appears to be working well, and should be continued.

Toilet Room walls, floors, ceilings are generally in good condition.

Toilet Equipment: Fixtures, countertops, and partitions are in good condition.

Classroom Cubbies: In good condition.

Items to be replaced in the next 5 years:

Flooring:

- Gym Floor: Floor is worn. Demo existing VCT floor, prep slab, install a new VCT floor with inlaid lines.

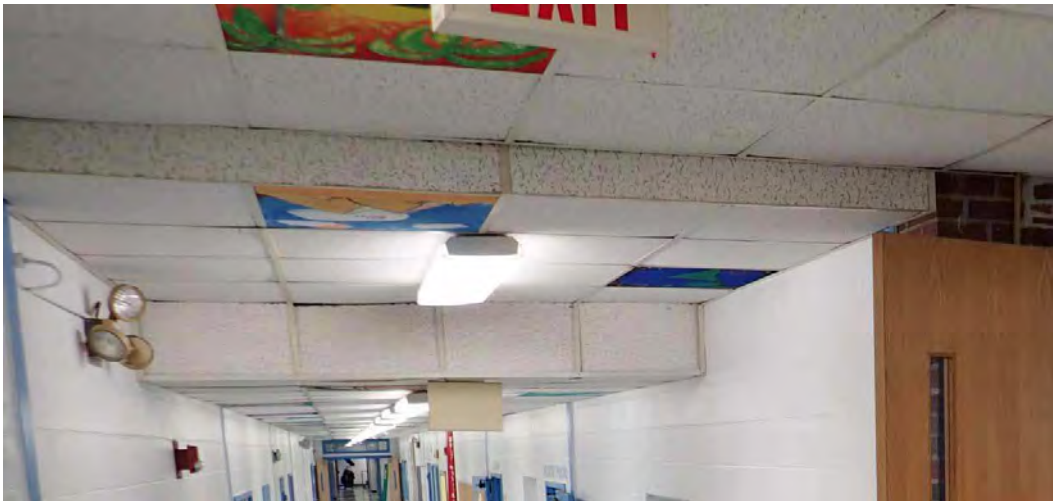


- Replace VCT flooring in the Gym Storage room.
- Classroom Floors: Carpet is worn at the portable classrooms. Replace carpet if portable classrooms themselves are not replaced.

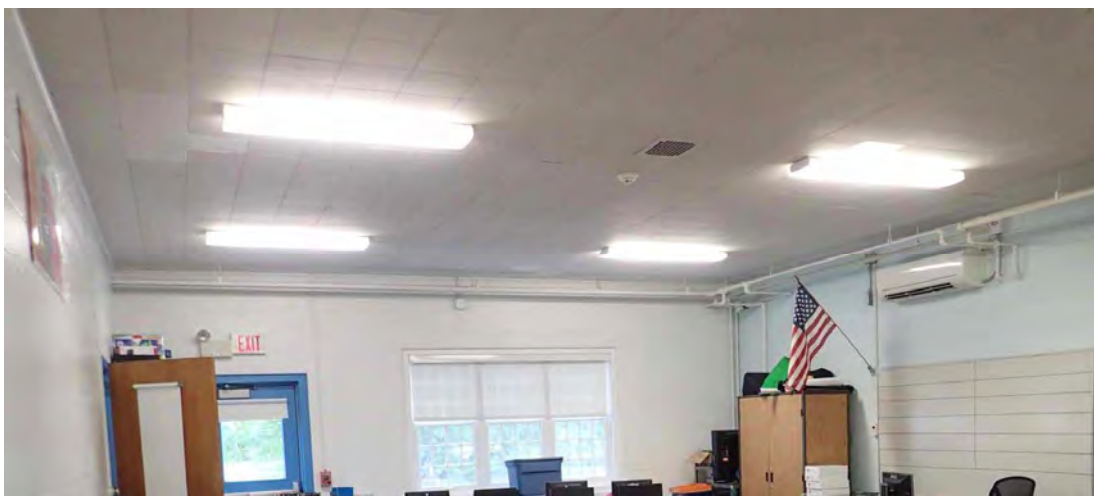


Ceilings & Lights:

- Replace sagging kitchen ceiling tiles with moisture resistant vinyl faced tile, such as Armstrong “clean room mylar”.
- Area B: Ceilings in this area are showing significant signs of wear, the grid is yellowed, and the tiles are a patchwork. Our recommendation is to replace the grid & tiles in the classrooms and corridor. Lights should also be replaced at that time with LED fixtures, and indirect fixtures in classrooms. The ceilings in the small toilet rooms are in very bad condition. Ceilings and lights should be replaced in these rooms.



- Area A: This area has the original ceiling tiles. To improve acoustics and lighting, a suspended ceiling should be installed just below the existing with new LED indirect lighting.



Casework:

- Classroom casework in Area D is old, counters are failing, and many doors and hinges are broken. Replace fixtures & casework. Because frequent splashing by young students quickly delaminates plastic laminate counters, use solid surface counters & sinks.



Tackboards/Markerboards:

- Tackboards in Area D are stained and deteriorating. Tackboards should be replaced with vinyl covered boards such as Claridge Fabricork Boards.

Window Coverings:

- Windows in the entire school, with the exception of Area A, have vertical blinds. These blinds do not hold up well with school use, and provide inadequate coverage during lock-downs. All windows in areas B, C, D and E should be fitted with commercial grade roller shades. We recommend Draper “manual flex shade” with a 3% open PVC coated fiberglass fabric.

Gym Equipment:

- Replace basketball rims with new breakaway rims. Replace pads around backboard.
- Wall pads are worn and are cracking along the seams. They have reached the end of their life and should be replaced.



Kitchen Equipment:

- Replace Oven and walk-in Cooler & Freezer: at end of life cycle.



- Replace the wooden tray slides at the serving line with stainless steel
- Provide new Holding Cabinet as requested by food service staff.

- Replace the Kettle, Dishwasher, Holding Cabinet and Ice Machine: at end of life cycle.



Windows:

- Windows in Areas C and D are old, not energy efficient, and those in Area C do not provide the required opening size to comply with fire codes. Replace all with new heavy duty commercial aluminum windows. Replace insulated panels above and below windows in Area D.



- Replace two original single-glazed windows in the Boiler Room with new heavy duty commercial aluminum windows.



Doors and Hardware:

- Most of the school's door hardware dates to 1989. The majority of door levers are loose and do not work properly. Many hinges are loose and in need of constant maintenance to keep doors operating. Many classroom doors are in poor condition due to binding at the frame and from being propped open with wedges. Replace all classroom-to-corridor door hardware in areas B, C & D. New hardware to include mortise locksets, Roton hinges, and the classroom safety locking function, which is now standard in schools.



- The steel storefront at the main entry is rusting and showing significant wear. This should be replaced with new aluminum insulated doors and frames and insulated glass.



- The inner vestibule doors at Area B are old wood and glass. The glass should be tempered or wire glass, and is a safety concern, so these doors and the surrounding frame should be replaced with a hollow metal frame and tempered glass.
- The public has access to much of the building when using the Gym after hours. Add a set of security doors in Area D to isolate the lobby.



Room Signage

- Add ADA compliant room signage and fire exit route signs at all rooms. None now exists.

Toilet Rooms:

- There are (20) tank-type toilets in the school, many of which have failed or leak. Replace these toilets with new toilets.

Roofing:

- The Area D roof is original to 1989, and is in need of replacement. Remove existing IRMA roof and insulation. Install 4" new rigid insulation and TPO roof. The Area B roof, while newer, is leaking in many places and needs replacement as well. See plan on following pages.

Security-Driven Main Office Relocation:

- Supervision of the main entrance by the General Office is poor due to its lack of proximity to the doors. This can be solved by relocating the General Office to the front of the building (Area A) and using the existing offices for Special Ed space. Create a new secure vestibule and waiting area with a direct window to the General Office. See floor plan for proposed new configuration.

Exterior:

- There is a double egress door out the back of the Multipurpose Room that has no sidewalk connecting it to a driveway. This egress route is required by code to be kept clear of snow, which is difficult without a sidewalk. We recommend adding a sidewalk to connect this door to the nearest driveway, approximately 75' away.

- The vinyl soffits in area C are old, of low quality and durability, and deteriorating quickly. Replace soffits with painted steel panels to match Area D.



- Replace the plywood panel over the Area C exterior classroom door with a metal insulated panel.
- The Area A small canopy at the south end of the building is deteriorating. Replace all wood with PVC to eliminate maintenance.



- The canopy at Area A needs to have rust removed from the steel underside, and have all surfaces painted. Replace wood roof edge trim with PVC.



- Handicap accessibility should be provided to the Area A canopy by means of a new ramped sidewalk down to the driveway, approx. 30' long.
- All brick control joint caulking is cracked and pulling away from the brick. Replace.



- Replace old caulking around EIFS panels in Area B. Paint EIFS panels.



- If the portable classrooms are not replaced, remove the wood deck & ramp at the exit and replace with a composite deck & ramp. Wood is deteriorating.



- There is a double egress door out the back of the gym with no sidewalk leading to a street. This must be kept clear of snow in the winter, so a sidewalk should be added between the building and the driveway.



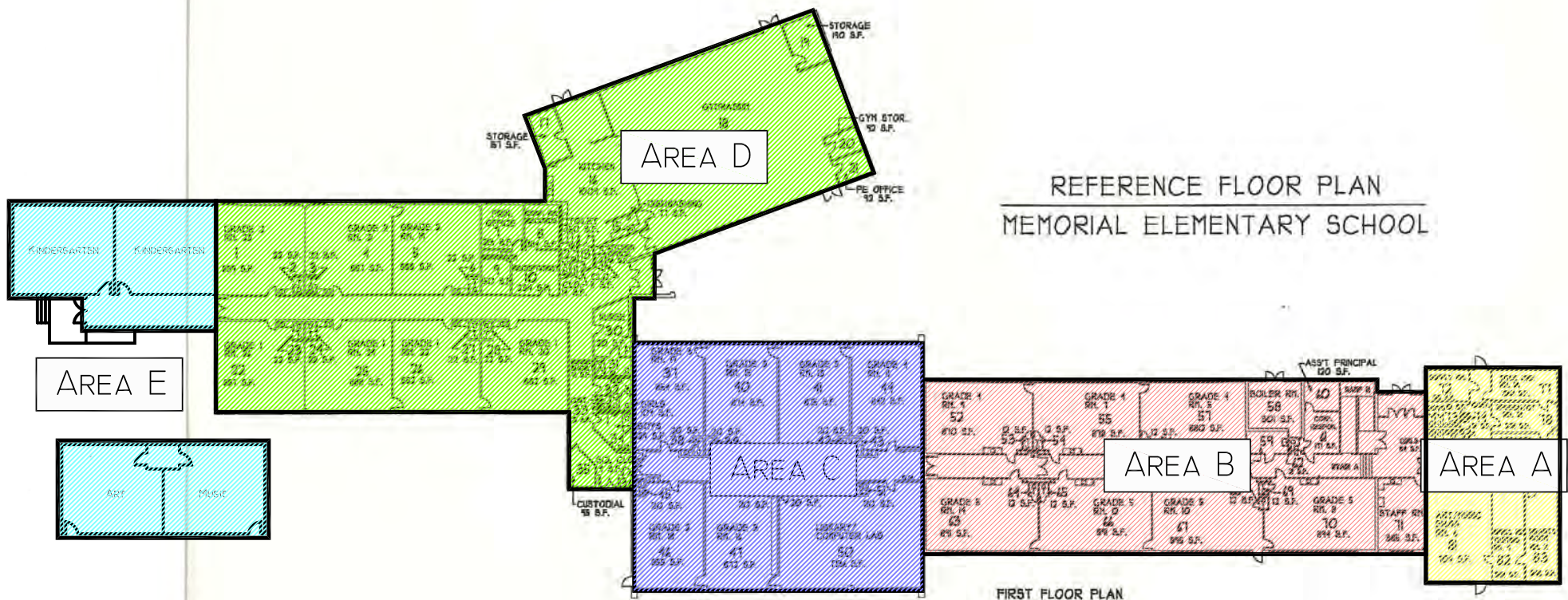
Portable Classrooms:

- As student security becomes a larger issue in schools, having remote classrooms has become less palatable to most school districts. It is very difficult to ensure student safety if they have to travel between buildings. Additionally, portable classrooms are an ongoing maintenance cost. Based on these two factors, we recommend that the four existing portable classrooms be replaced with permanent, high quality construction in the location of the two existing portables.



Previously Identified CIP Items:

- Install a new addressable fire alarm system in the building.
- Asphalt improvements: New coat of asphalt and striping at parking lots.
- Replace septic system leach fields.



REFERENCE FLOOR PLAN
MEMORIAL ELEMENTARY SCHOOL

FIRST FLOOR PLAN

GRAPHIC SCALE
0 5 10 15 20 25 30

SCHOOL AREAS

REPLACE MPR
FLOOR: 3850SF

REPLACE ST. ROOM
FLOOR: 100SF

REPLACE KITCHEN CEILING
TILES WITH MOISTURE
RESISTANT TILES: 1100SF

REPLACE CLASSROOM
CASEWORK, AREA D:
28LF

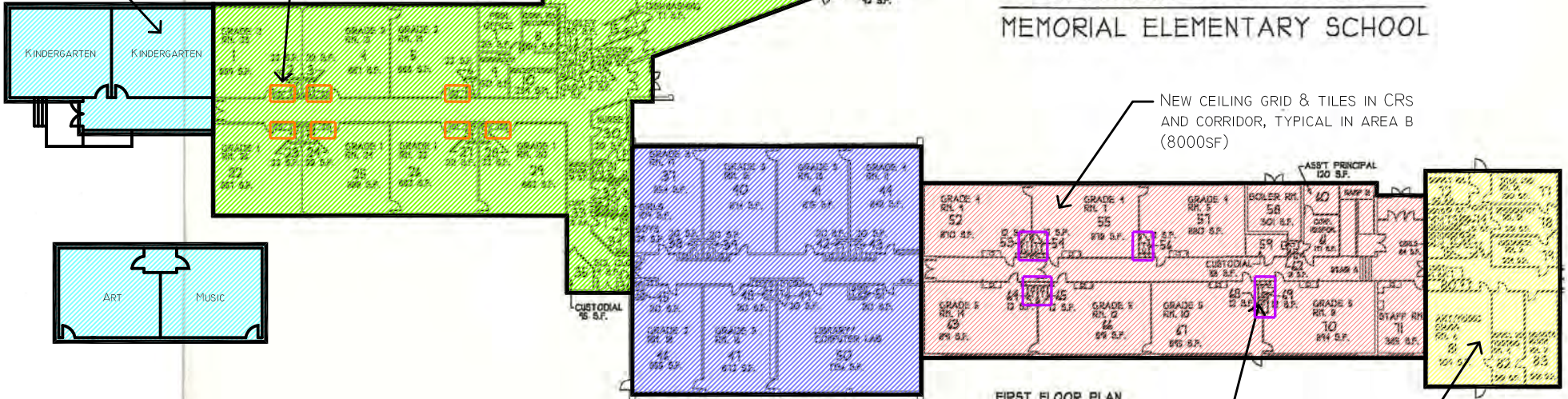
REPLACE CARPET:
1800SF

REFERENCE FLOOR PLAN MEMORIAL ELEMENTARY SCHOOL

NEW CEILING GRID & TILES IN CRS
AND CORRIDOR, TYPICAL IN AREA B
(8000SF)

REPLACE TOILET RM
CEILING GRID AND
TILES, TYPICAL IN
AREA B (100SF)

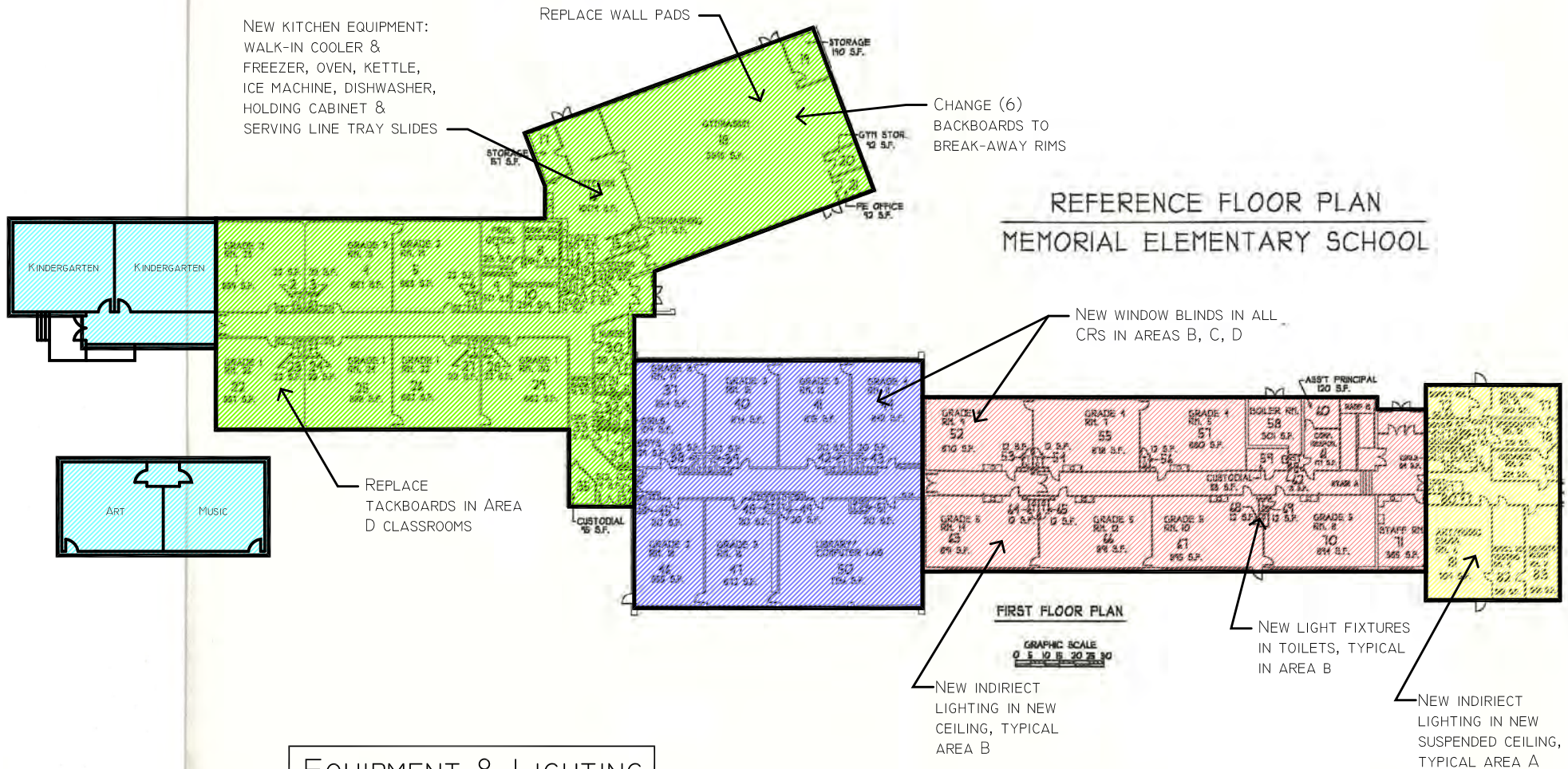
NEW SUSPENDED
CEILING BELOW
EXISTING, TYPICAL IN
AREA A (1600SF)



FIRST FLOOR PLAN

GRAPHIC SCALE
0 5 10 15 20 25 30

FINISHES



NEW KITCHEN EQUIPMENT:
WALK-IN COOLER &
FREEZER, OVEN, KETTLE,
ICE MACHINE, DISHWASHER,
HOLDING CABINET &
SERVING LINE TRAY SLIDES

REPLACE WALL PADS

CHANGE (6)
BACKBOARDS TO
BREAK-AWAY RIMS

REFERENCE FLOOR PLAN
MEMORIAL ELEMENTARY SCHOOL

NEW WINDOW BLINDS IN ALL
CRS IN AREAS B, C, D

REPLACE
TACKBOARDS IN AREA
D CLASSROOMS

FIRST FLOOR PLAN

GRAPHIC SCALE
0 5 10 15 20 25 30

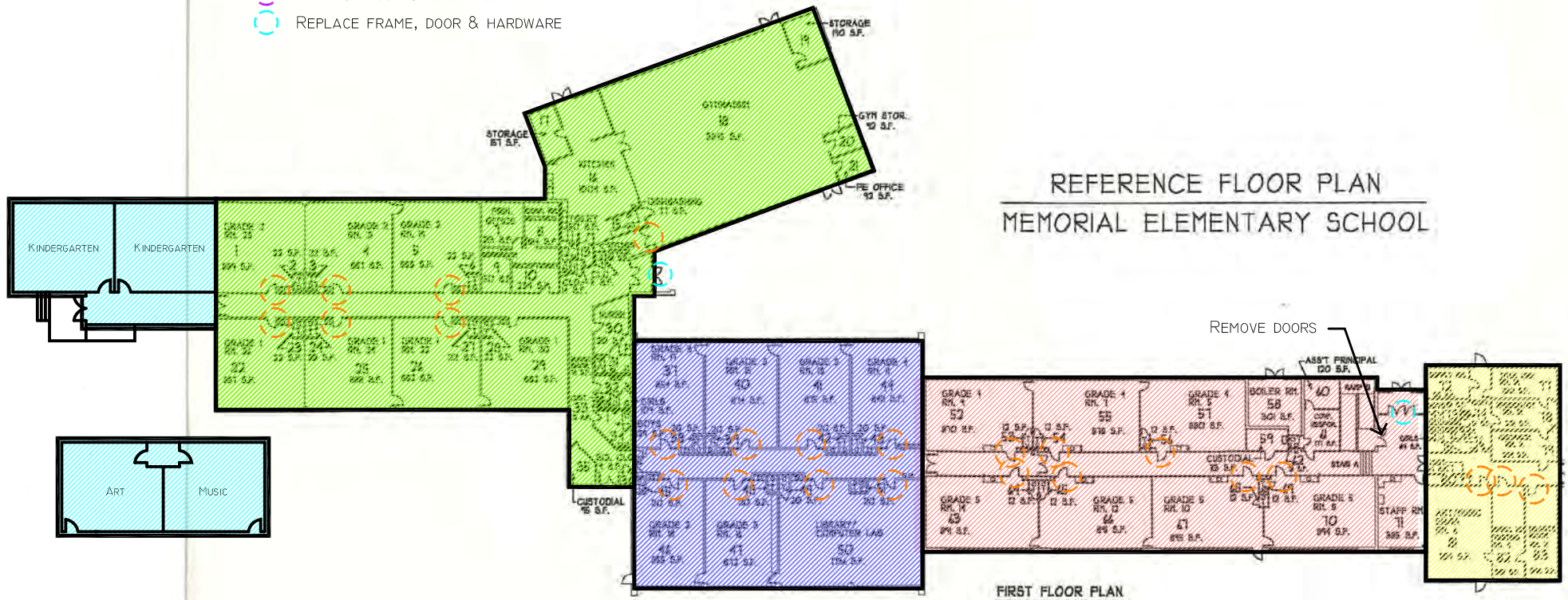
NEW INDIRECT
LIGHTING IN NEW
CEILING, TYPICAL
AREA B

NEW LIGHT FIXTURES
IN TOILETS, TYPICAL
IN AREA B

NEW INDIRECT
LIGHTING IN NEW
SUSPENDED CEILING,
TYPICAL AREA A

EQUIPMENT & LIGHTING

-  REPLACE HARDWARE ONLY
-  REPLACE DOOR & HARDWARE
-  REPLACE FRAME, DOOR & HARDWARE



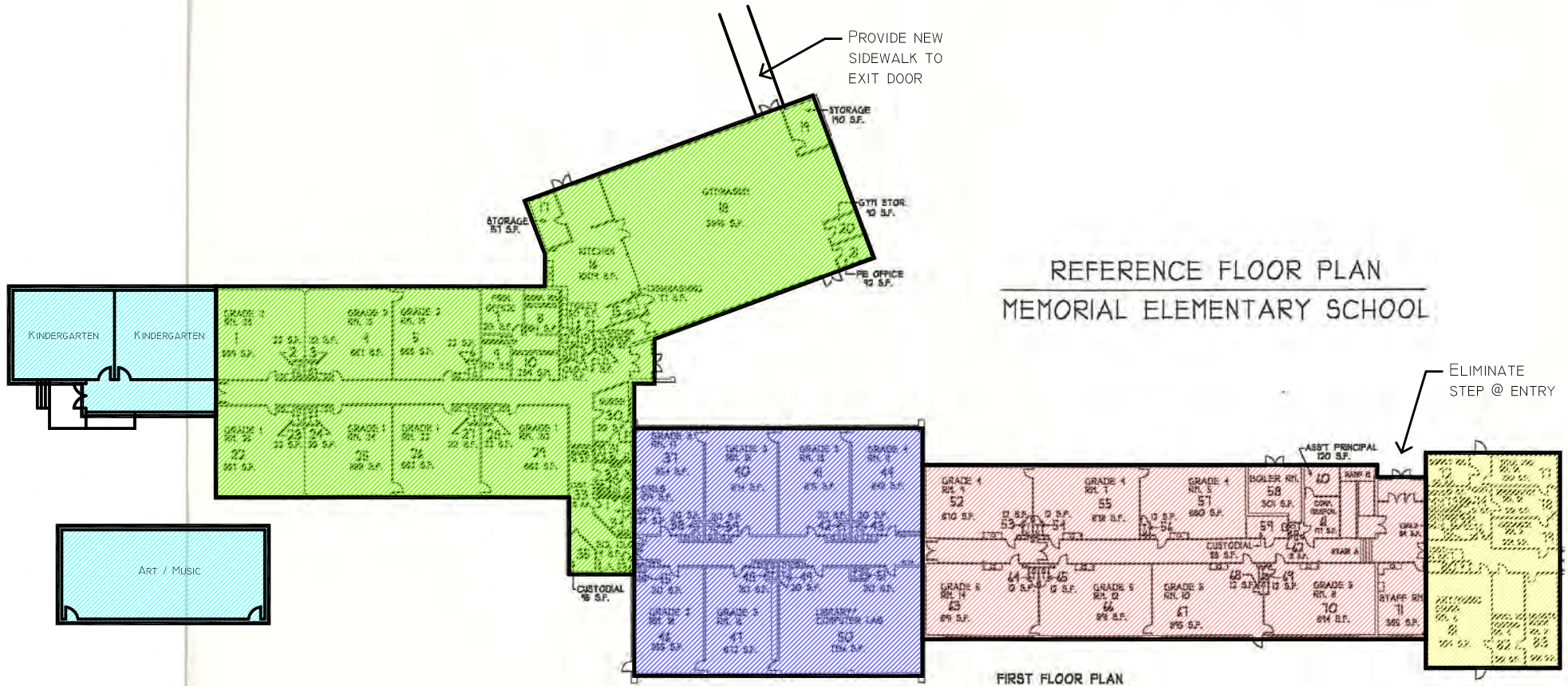
REFERENCE FLOOR PLAN
MEMORIAL ELEMENTARY SCHOOL

REMOVE DOORS

FIRST FLOOR PLAN

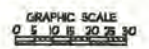
GRAPHIC SCALE
0 5 10 15 20 25 30

DOORS & HARDWARE



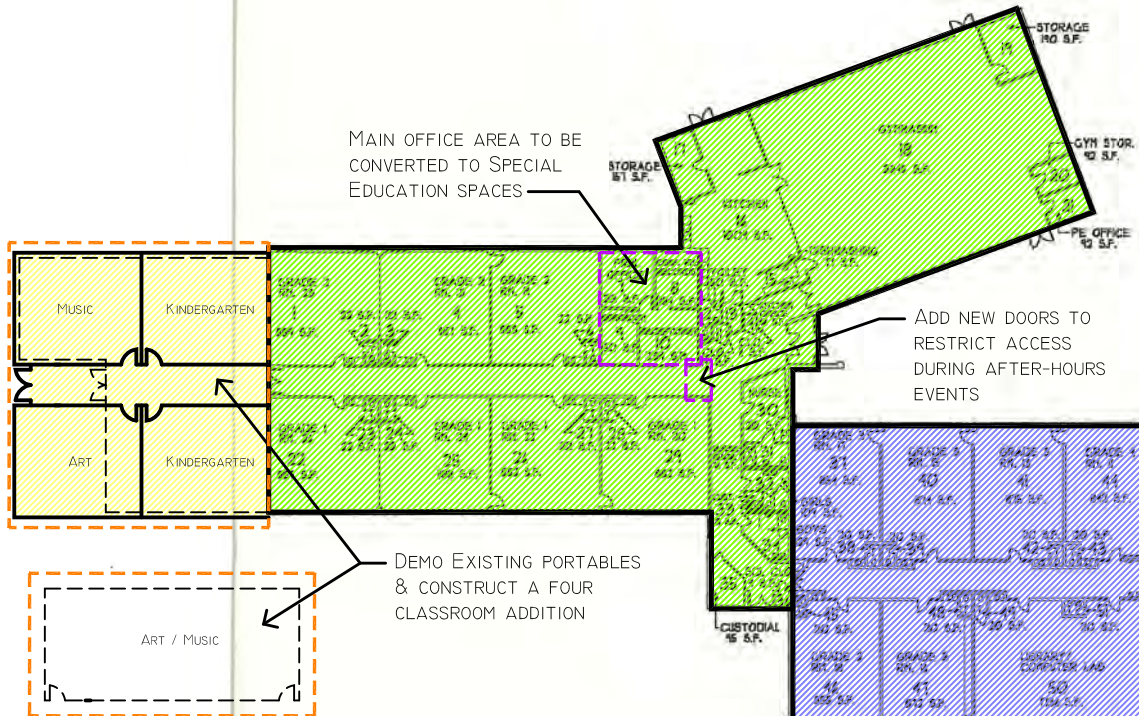
REFERENCE FLOOR PLAN
MEMORIAL ELEMENTARY SCHOOL

FIRST FLOOR PLAN

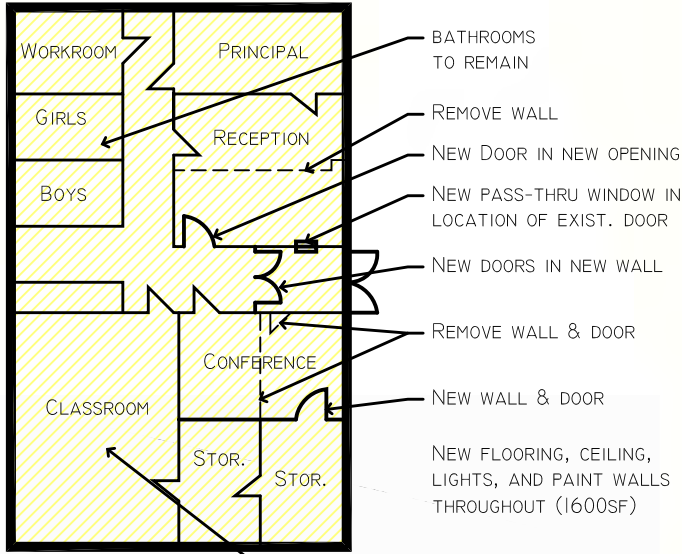


PROVIDE ADA ROOM SIGNAGE THOUGHTOUT.

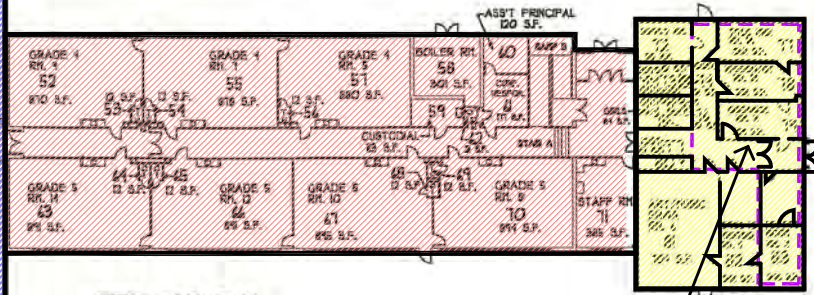
CODE COMPLIANCE



SECURITY



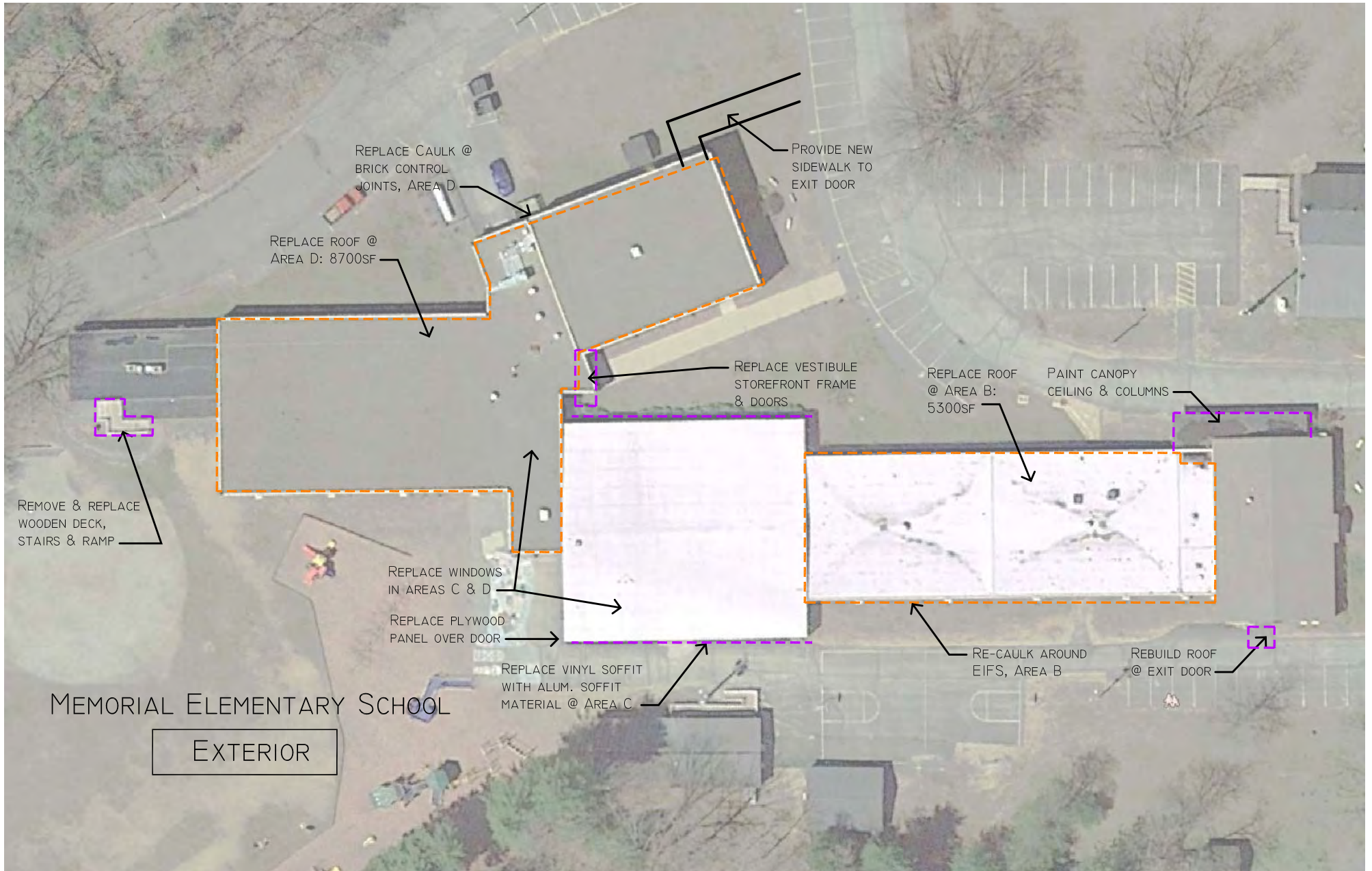
NEW OFFICE PLAN



FIRST FLOOR PLAN

GRAPHIC SCALE
0 5 10 15 20 25 30

RENOVATE AREA A TO BECOME NEW MAIN ENTRY WITH SECURE WAITING ROOM SPACE, MAIN OFFICE, CONFERENCE AND ADMIN. OFFICES.



REPLACE CAULK @
BRICK CONTROL
JOINTS, AREA D

PROVIDE NEW
SIDEWALK TO
EXIT DOOR

REPLACE ROOF @
AREA D: 8700SF

REPLACE VESTIBULE
STOREFRONT FRAME
& DOORS

REPLACE ROOF
@ AREA B:
5300SF

PAINT CANOPY
CEILING & COLUMNS

REMOVE & REPLACE
WOODEN DECK,
STAIRS & RAMP

REPLACE WINDOWS
IN AREAS C & D

REPLACE PLYWOOD
PANEL OVER DOOR

REPLACE VINYL SOFFIT
WITH ALUM. SOFFIT
MATERIAL @ AREA C

RE-CAULK AROUND
EIFS, AREA B

REBUILD ROOF
@ EXIT DOOR

MEMORIAL ELEMENTARY SCHOOL

EXTERIOR

Memorial Elementary School						
* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Interior			Priority	Unit		Total Cost
Flooring						
	<i>Multi-Purpose Room</i>	New VCT w/ inlaid line package (demo exist)	3	3850 sf		\$35,700
	<i>Classrooms</i>	Replace portable classroom carpet (demo exist)	3	1800		\$12,300
	<i>Misc.</i>	Replace Gym Storage floor: VCT (demo exist)	3	100		\$1,200
Ceilings & Lights						
	<i>Kitchen</i>	New moisture resistant tiles in exist. grid	2	1100 sf		\$4,500
	<i>Area B Toilets</i>	New grid, tiles & LED lights in (6) toilets	3	100 sf		\$1,800
	<i>Area A</i>	New grid, tiles & indirect LED lights	3	1600 sf		\$27,000
	<i>Area B</i>	New grid, tiles & indirect LED lights in classrooms	3	8000 sf		\$145,000
Casework						
	<i>Area D Classrooms</i>	Replace all CR casework, solid surface counters	2	28 lf		\$14,300
Gymnasium Equipment						
		Replace wall pads	4	250 lf		\$11,100
		New break-away rims (6)	1	6 units		\$11,900
Kitchen Equipment						
		Replace walk-in cooler & freezer	3	2 units		\$36,000
		Replace dishwasher	3			\$31,200
		Replace oven	3			\$21,600
		Replace kettle	3			\$33,600
		Replace Ice machine	3			\$4,200
		Replace holding cabinet	3			\$3,600
		Replace serving line tray slides	1			\$1,800
Toilets						
		Replace all classroom toilets with new	3	20 units		\$37,600
DDC Controls						
		Install new DDC controls throughout	2	39000 sf		\$170,000
Fire Alarm						
		Install new fully addressable fire alarm throughout	2	39000 sf		\$65,000
Marker/Tackboards						
		Area D: Replace CR tackboards	5	7 rooms		\$15,300
Windows						
		Area B: Replace @ boiler room (2'0"x6'0")	4	2 units		\$3,300
		Areas C: Replace all windows (4'0"x7'0")	4	16 units		\$52,900
		Area D: Replace all (5'4"x5' glass, 5'4"x4' panel)	4	19 units		\$83,700
Window Blinds						
		Areas B, C, D, E: Replace (average 28sf each)	4	52 units		\$10,300
					SUBTOTAL	\$834,900

Memorial Elementary School continued

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018

Interior continued		Priority	Unit		Total Cost
Doors and Hardware					
	<i>Replace hardware only</i> Areas B, C and D, single doors	1	28	doors	\$23,500
	<i>Replace door, frame & hardware</i> Area D Vestibule - outer frame only: double doors, storefront	3	100	sf	\$19,000
	Interior doors, replace @ vestibule B (3 leaves in frame)	3	17	lf	\$10,300
	New security doors @ Area D (1 double door in new wall)	1	1	unit	\$7,400
Exterior					
Brick and Siding	Paint canopy ceiling/columns, replace wood trim with PVC	4	1000	sf	\$6,000
	Replace vinyl soffit w/ alum, replace plywood panel	4	1800	sf	\$34,000
Sealants	Areas A, B, C & D: Replace caulk @ control joints & EIFS, paint EIFS	1			\$28,800
Roofing and Flashing	Area B & D: Replace flat IRMA roof & membrane roof with TPO	4	21900	sf	\$394,000
Misc.	Replace wood canopy over exit	4	25	sf	\$7,400
	Replace wood deck/stairs/ramp w/ composite material	2			\$11,800
	Replace leach fields	5			\$100,000
	Asphalt maintenance to driveway	5			\$65,000
	New sidewalk from existing doors @ MPR	1	75	lf	\$5,400
Code Compliance					
ADA Signage	Need Signage throughout	1	80	signs	\$4,800
Fire Safety Compliance	Need fire exit signs	1	35	signs	\$350
Building Security					
	Light renovation to Area A to become main office	2	2300	sf	\$220,800
	Replace 4 portable classrooms with a masonry addition	2	4500	sf	\$982,000
				SUBTOTAL	\$1,920,550
				TOTAL	\$2,755,450

Sanborn Regional School District – CIP Facilities Study

October 19, 2016

Swasey Gym



General:

Phases: The building is a one story structure with a lower storage level. It houses a gymnasium, locker rooms, a weight room, and lobby with toilets and a concession stand. The building has a sprinkler system. Building Area = 17,000 s.f.

Scope of this Report:

The intent of this report is to assess the architectural elements of this building for the purpose of updating the school district's Capital Improvement Plan. We toured the building to observe the condition of items such as flooring, ceilings, paint, fixed equipment, windows, doors, hardware, exterior building components and roofing. We have, however, listed previously identified and budgeted mechanical / site CIP items for completeness.

Additionally, this report is not intended to be a code analysis of the building. That assessment was done in 1999 by Team Design Inc., and is largely still applicable.

Architectural Elements:

Most finishes in this building are in poor condition, but the following architectural elements are in sufficiently good condition that we believe they will not require replacement in the next 5 years, and therefore should not appear on this CIP.

Building Entry Security: As students do not occupy this building consistently throughout a school day, and there is no main office with security checkpoint capability, the building relies on locked doors and adequate exits, and electronic monitoring for occupant security.

Lobby floor and ceiling are in reasonably good condition.

Gym bleachers are about 5 years old and are in good condition.

Items to be replaced in the next 5 years:

Flooring:

- The gym has a maple floor that is in need of refinishing. Sand down to bare wood and refinish with new court lines.



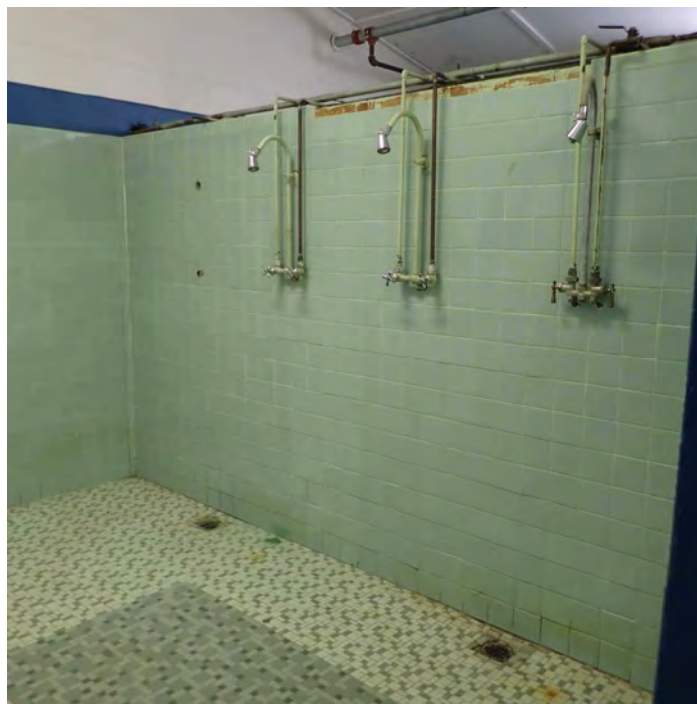
- Patch the hole in the Trainer's Room floor.

Renovate Locker Rooms:

- Demo existing ceramic floor tile in both Locker Rooms and replace.



- Shower stalls are neither functional, nor ADA accessible. They have been cobbled together over the years, and are in poor condition. They should be demolished and rebuilt using ceramic tile-covered concrete block and HDPE partitions. Gang showers should be converted to stalls. Demo plumbing to showers and install new piping, drains & fixtures.



- Paint walls & ceilings in Boys and Girls Locker Rooms.



- The Boys and Girls Locker Rooms need to have all fixtures replaced, including sinks, counters, toilets, and showers. This will involve some new plumbing and wall demolition / construction. Provide ADA compliant toilets & sinks in each locker room.



- Replace Locker Room wall hooks with institutional grade hardware.
- Replace worn out Locker Room portable benches with fixed commercial hardwood benches.

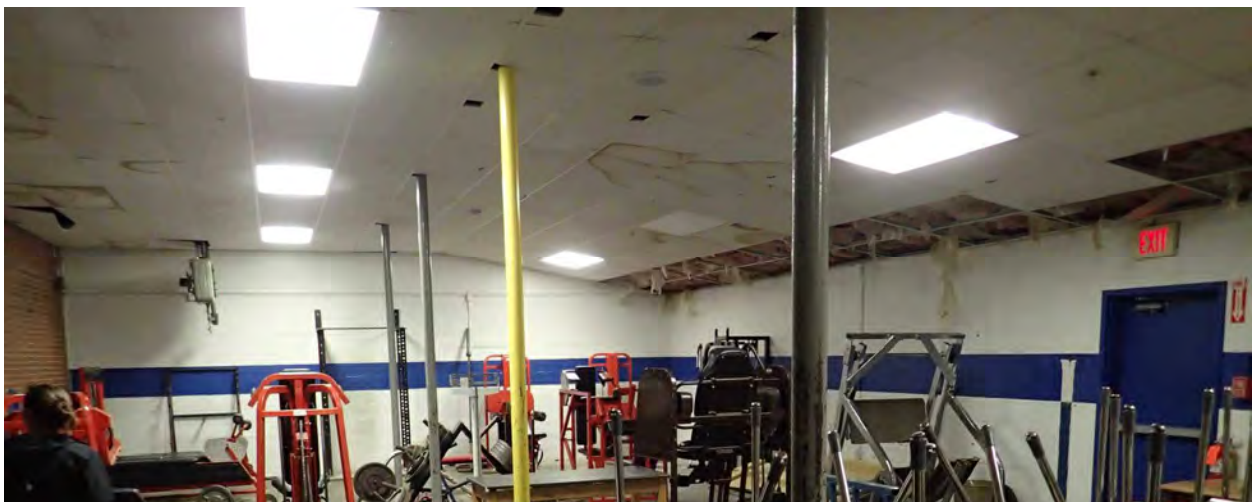
Walls:

- Paint walls of gymnasium, including tectum panels.



Ceilings:

- Suspended ceiling in the Weight Room is in terrible condition and is falling down. Replace ceiling tiles after roof has been repaired. Reuse lights.



- Ceiling in the Stage consists of aluminum foil over fiberglass batt insulation. Extensive damage to this surface has taken place. Install a new angled suspended ceiling just below the roof structure.



- Replace old, damaged suspended ceiling in the corridors.

Gym Equipment:

- Replace pads around backboards.



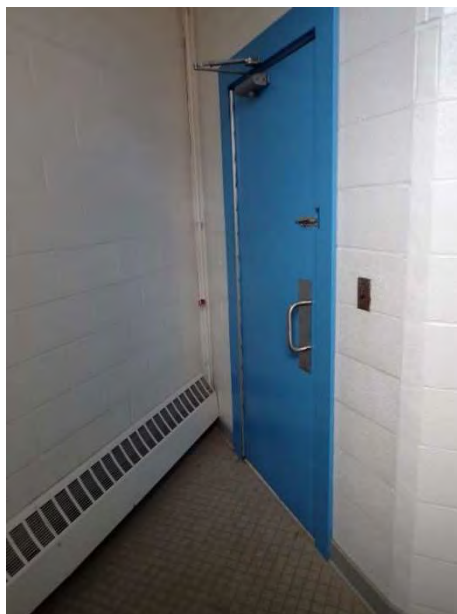
Doors and Hardware:

- The storefront at the main building entry is old and thermally inefficient. Replace with new high quality aluminum storefront and doors.



Lobby Accessibility & Lobby Toilet Rooms:

- There are currently no handicap accessible toilets for public use in the building (see photo of non-ADA compliant door below). Additionally, there is not sufficient capacity in the current toilet rooms for the number of people that could use the gym. To correct these two problems, the existing toilet rooms on either side of the lobby should be completely redone, and expanded into the adjacent concession stand and storage space. Concession would have to be eliminated or relocated (no obvious spot to do this). Provisions will also be made to make the front entrance ADA accessible.



Windows:

- All windows are in poor condition, deteriorating, and are poorly insulating. Replace all windows with heavy duty commercial windows.



- Replace the Kalwall panels high in the gym with new Kalwall panels.



Building Exterior:

- The back half of the building is primarily painted concrete block, and badly needs to be patched and repainted. Clean, caulk all masonry joints, paint walls.



- The chimney brick is spalling badly, and should be rebuilt from the roof up, with a new precast concrete cap.



- The wood trim around the roof edge is in terrible condition and is rotting in some areas, and peeling extensively everywhere else. This trim should be taken off when the roof is replaced, and replaced with PVC trim.



- The wood wall surface above the main entry door should be replaced with PVC panels.



Roofing:

- The current asphalt shingle roof is in varying states of decay, and reportedly leaks in most areas. There is also no insulation in the current roofing system. Except for the portion over the front lobby, which is new, remove roofing down to deck, install 3” of new rigid insulation, new ice & water shield and new asphalt shingle roofing.
- The flashing from the low roofs into the higher gym walls is a mess. This should be removed and redone properly when the lower roofs are replaced.



Room Signage

- Add ADA compliant room signage at all rooms. None now exists.

Mechanical Systems

- There is currently no mechanical ventilation provided in the building. To meet current standards, a new HV system should be installed to provide fresh air to the gym, locker rooms, public toilets / lobby, and weight room. This would most likely be achieved with several mechanical units located in the basement or part of the weight room, and ducted to all spaces. We recommend that DDC controls be installed, and that heat recovery units be included to save energy.

Previously Identified CIP Items:

- Make exterior lighting improvements: new light poles, LED fixtures.
- Asphalt improvements: New coat of asphalt and striping at parking lots.

INSTALL NEW SUSPENDED
OR GYP. BD. CEILING @
STAGE: 1100SF

REPLACE CEILING:
200SF

REPLACE TILE

NEW PADDING @
BACKBOARDS

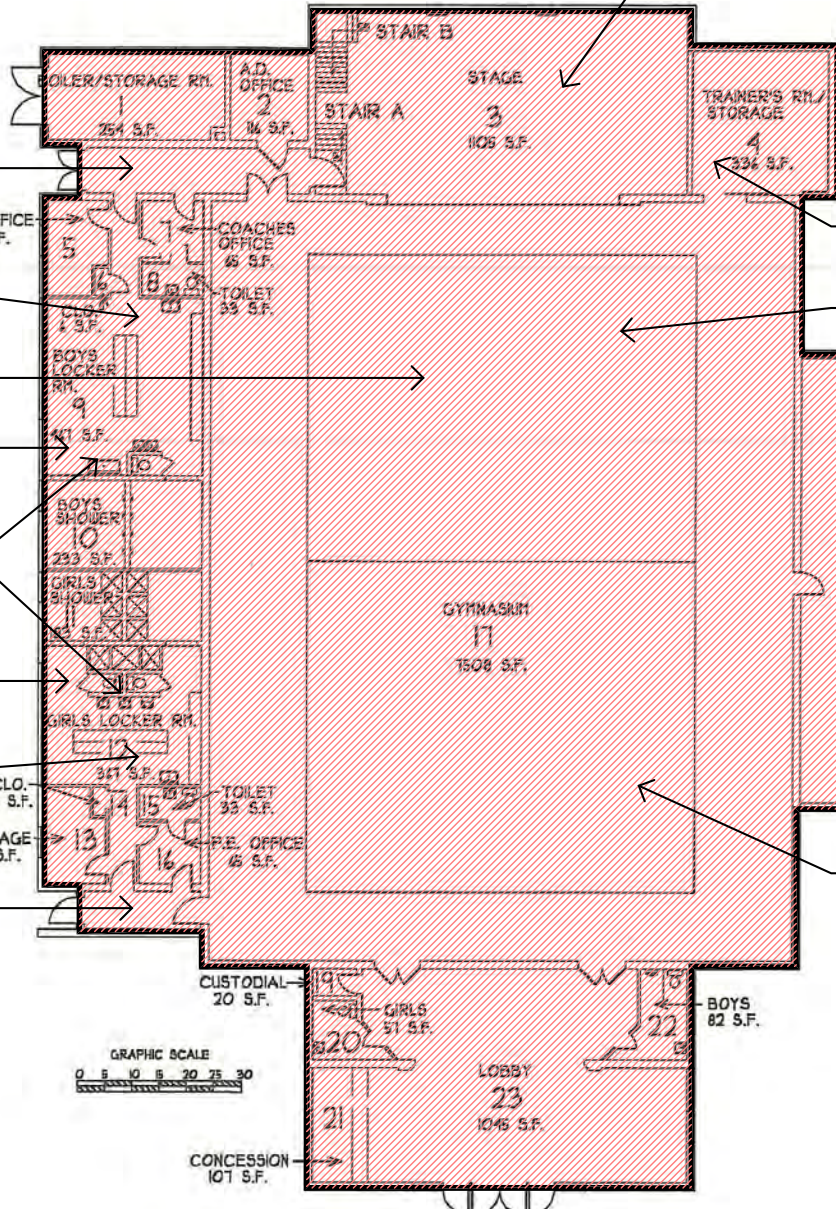
PAINT CEILING:
600SF

UPDATE PLUMBING
FIXTURES

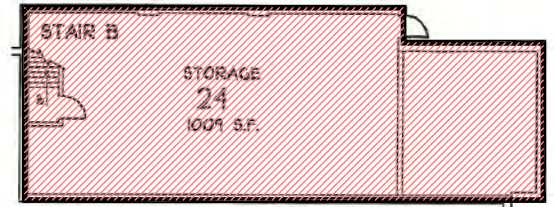
PAINT CEILING:
400SF

REPLACE TILE

REPLACE CEILING:
100SF



FIRST FLOOR PLAN



BASEMENT FLOOR PLAN

PATCH HOLE IN CONC.
FLOOR: 340SF

PAINT WALLS & TECTUM

NEW CEILING IN
EXIST GRID: 1600SF

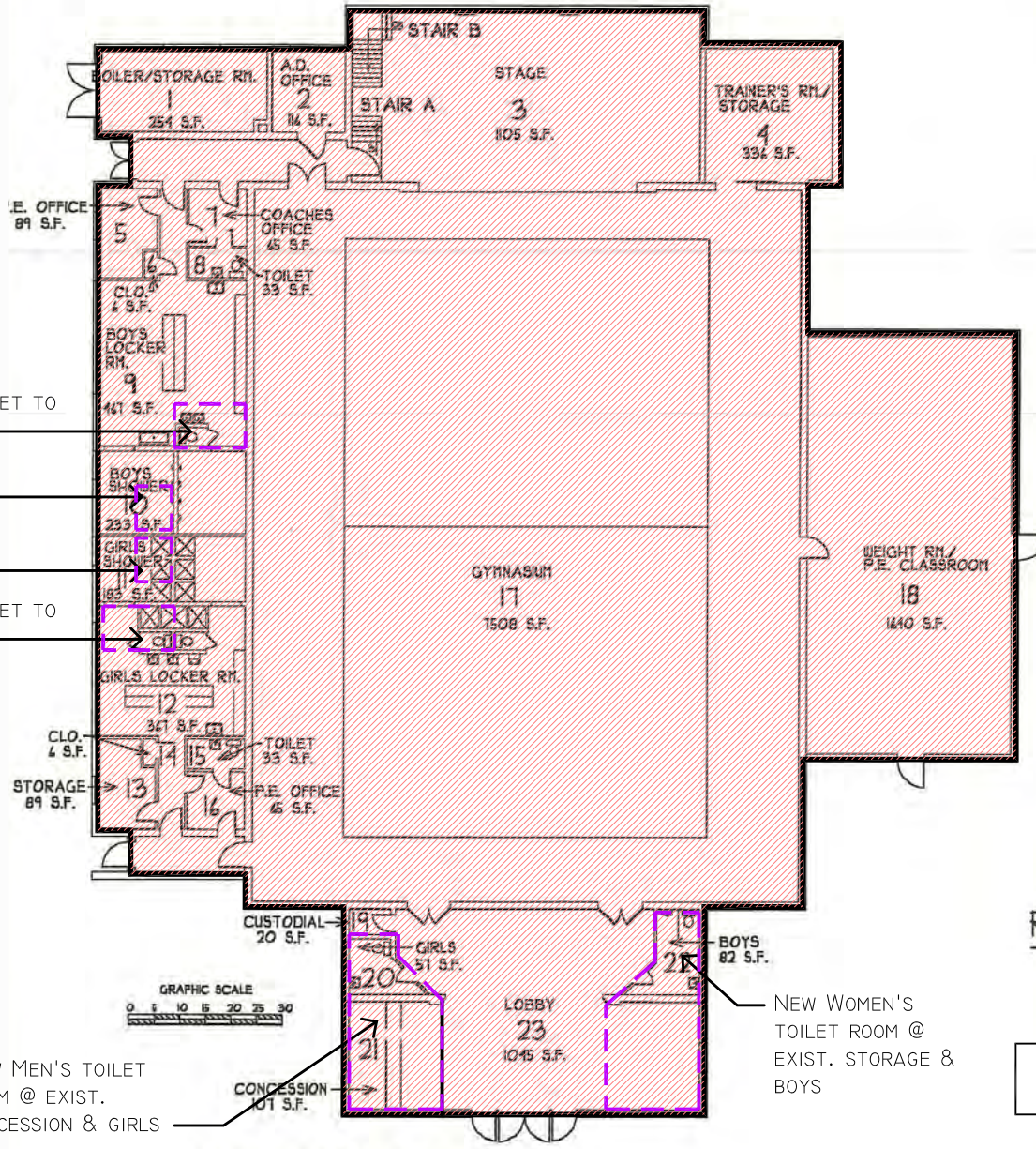
WEIGHT RM/
P.E. CLASSROOM
18
1440 S.F.

SAND AND REFINISH
GYM FLOOR: 7500SF

REFERENCE FLOOR PLAN

SWASEY GYMNASIUM

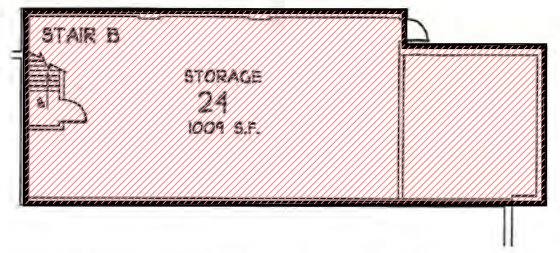
FINISHES



FIRST FLOOR PLAN

- CONVERT TOILET TO HC TOILET
- PROVIDE HC SHOWER
- PROVIDE HC SHOWER
- CONVERT TOILET TO HC TOILET

NEW MEN'S TOILET ROOM @ EXIST. CONCESSION & GIRLS



BASEMENT FLOOR PLAN

PROVIDE ADA ROOM SIGNAGE THROUGHOUT.

REFERENCE FLOOR PLAN
SWASEY GYMNASIUM

CODE COMPLIANCE

SWASEY GYM

EXTERIOR

REBUILD CHIMNEY

PAINT BLOCK EXTERIOR

PAINT WOOD SOFFIT & EAVE AROUND ENTIRE PERIMETER

REPLACE WINDOWS

REPLACE ROOF

REPLACE WOOD SOFFIT/TRIM

NEW KALWALL ABOVE

NEW DOORS AND FRAME

Swasey Gymnasium						
* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Interior			Priority	Unit		Total Cost
Flooring						
	<i>Gymnasium</i>	Sand and refinish with new court lines	5	7500 sf		\$35,800
	<i>Trainer</i>	Patch holes in floor (concrete & tile)	5	340 sf		\$6,800
Renovate Locker Rooms		New fixtures, quarry tile floor. Reconfigure showers w/ partitions, wall & ceiling paint (this item to be done with ADA work below)	1	1000 sf		\$94,000
Paint						
	<i>Gymnasium</i>	Paint walls & Tectum	5			\$27,700
Ceilings						
	<i>Weight Room</i>	Replace tiles in exist. grid	2	1600 sf		\$6,100
	<i>Stage</i>	Add acoustic ceiling & grid. Rework sprinklers	2	1100 sf		\$9,500
	<i>Corridors</i>	Replace tiles in exist. grid	2	300 sf		\$1,200
Gymnasium Equipment		New padding @ backboards	5	2 units		\$2,200
Windows		Replace windows (30"x40")	2	20 units		\$47,300
		Replace Kalwall	2	240 sf		\$32,600
Mechanical		New building-wide HV system	5	15000 sf		\$450,000
Exterior						
Brick and Siding		Replace wood soffit trim and gable end trim w/ PVC	1	800 lf		\$39,400
		Repair & paint CMU exterior, caulk all masonry joints	2	4000 sf		\$53,000
		Rebuild chimney	1			\$3,400
Doors and Hardware		Replace Storefront & Doors	2	300 sf		\$35,800
Roofing and Flashing		Replace roof w/ new shingles, new flashing, 3" new insulation	1	18000 sf		\$358,000
Driveway		Asphalt maintenance to driveway	5			\$100,000
		Add exterior lighting around building	5	6 poles		\$49,400
Code Compliance						
<i>ADA Compliance</i>						
ADA Toilets		Provide new toilets @ front lobby & make lobby HC accessible	1	1150 sf		\$85,000
		Provide ADA toilets/sinks/showers in locker rooms	1	780 sf		\$57,500
ADA Signage		Need Signage	1	16 signs		\$960
					TOTAL	\$1,495,660

Sanborn Regional School District – CIP Facilities Study

October 19, 2016

Chase Field House



General:

Phases: The building is a one story structure which house locker rooms for the adjacent playing fields. It is used seasonally. Building Area = 2,900 s.f.

Scope of this Report:

The intent of this report is to assess the architectural elements of this building for the purpose of updating the school district's Capital Improvement Plan. We toured the building to observe the condition of items such as flooring, ceilings, paint, fixed equipment, windows, doors, hardware, exterior building components and roofing. The scope of this study does not include the review of the building's plumbing, mechanical, electrical, communications or security systems, or site improvements.

Architectural Elements:

The roof has been replaced relatively recently.

Wall paint is in reasonably good condition, and should continue to be painted on a schedule.

Doors and Hardware are in good condition.

Items to be replaced in the next 5 years:

Flooring:

- Existing floors are painted concrete. The paint wears off quickly, and should be replaced with a durable quarry tile floor and base. Raise fixtures, partitions, lockers accordingly.



Ceilings:

- Ceiling tiles have been affected by moisture and are sagging. Replace all ceiling tiles with moisture resistant ceiling tiles in the existing grid.



Locker Room Equipment:

- Toilet partitions are in poor condition. Remove and replace with new HDPE partitions throughout.



- Lockers are 15 years old and damaged. Replace lockers.



Windows:

- The windows have been replaced recently, but the installation is not complete. Add interior trim at all windows and infill properly at abandoned windows.



Building Exterior:

- The exterior of the building is painted concrete block. This is due to be repainted.



Roofing:

- The “snack shack” roof is in need of replacement with a new asphalt shingle roof.



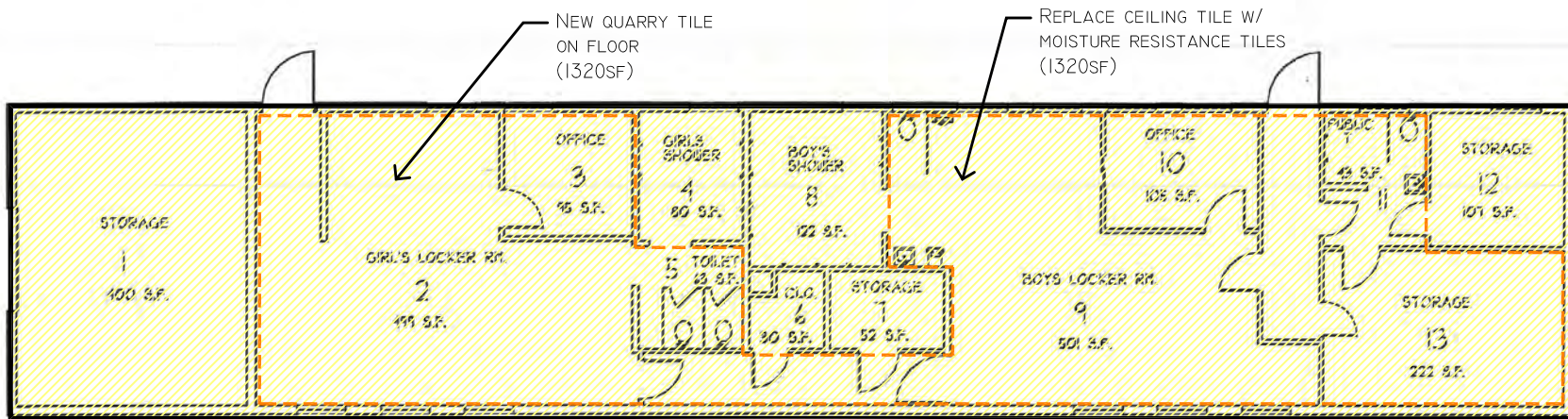
ADA Accessibility:

There are no ADA accessible toilets in the building. Reconfigure partitions in the locker rooms to provide one ADA accessible toilet in each, and reconfigure the single toilet in the hallway to provide public toilet access.



Previously Identified CIP Items:

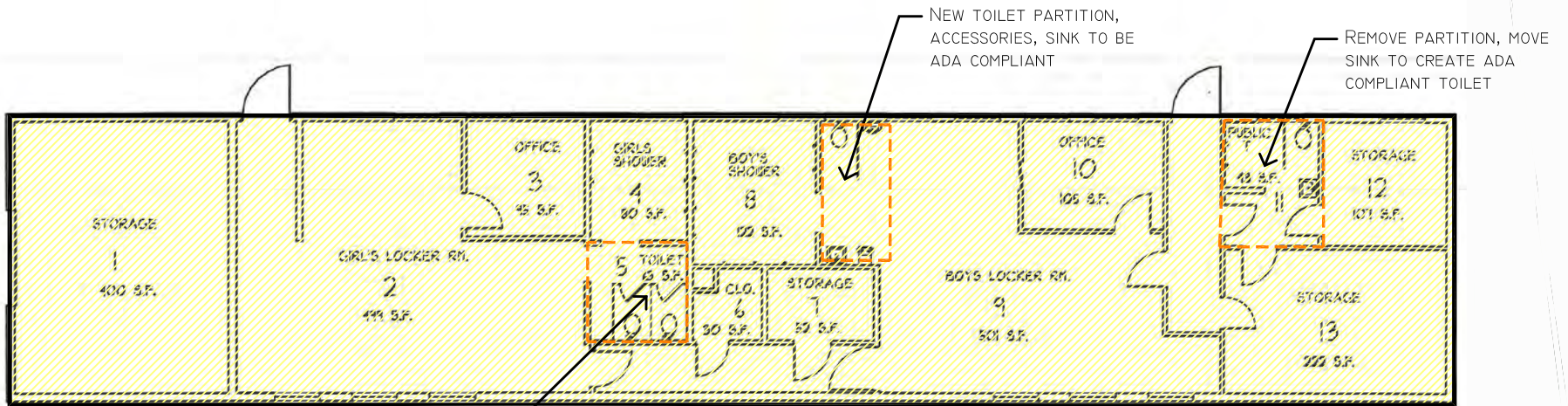
- Construct a new 40' x 40' metal storage building at the Chase site to house Buildings and Grounds equipment.



FIRST FLOOR PLAN @ 1/8" = 1'-0"

REFERENCE FLOOR PLAN
CHASE FIELD HOUSE

FINISHES

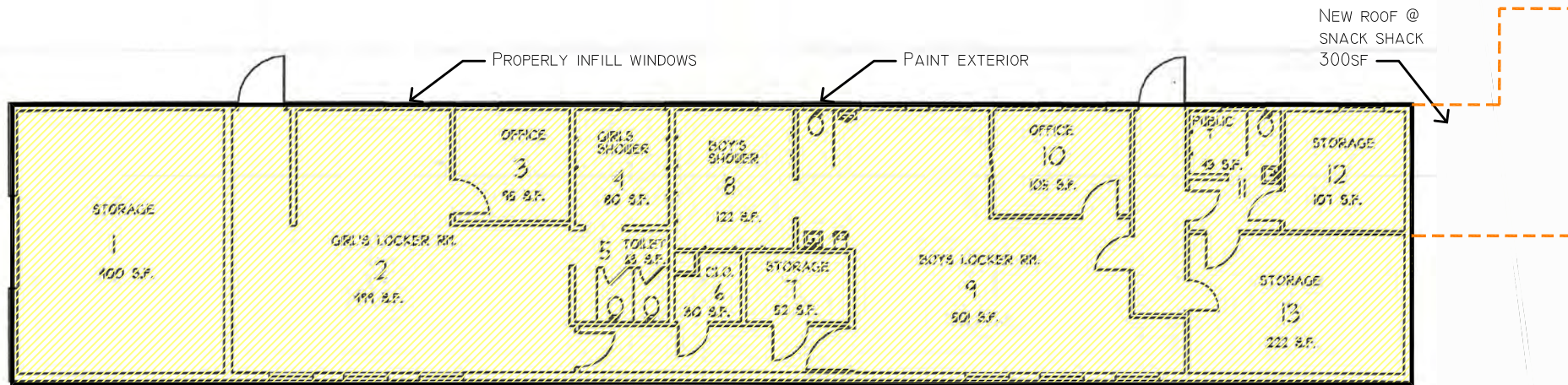


ELIMINATE (1) TOILET, NEW PARTITION, ACCESSORIES TO CREATE ADA COMPLIANT TOILET. NEW SINK.

FIRST FLOOR PLAN @ 1/8" = 1'-0"

REFERENCE FLOOR PLAN
CHASE FIELD HOUSE

CODE COMPLIANCE



FIRST FLOOR PLAN @ 1/8" = 1'-0"

REFERENCE FLOOR PLAN
CHASE FIELD HOUSE

EXTERIOR

Chase Fieldhouse

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Interior			Priority	Unit		Total Cost
Ceilings		Replace tiles w/ moisture resistant	4	1320	sf	\$6,000
Windows		Finish trim @ windows, fix infill windows	4	15	units	\$9,600
Locker Renovations		New quarry tile floors & base, replace toilet partitions, and	4	1320	sf	\$41,800
		add partitions at boys shower (to be done with ADA work below)	1			
		Replace all lockers w/ new	4	100	units	\$27,000
Exterior						
Siding		Paint exterior block	4	1700	sf	\$4,700
Roofing and Flashing		Replace roof @ snack shack	1	300	sf	\$2,400
Misc.		Add freestanding storage building	1			\$76,000
Code Compliance						
<i>ADA Compliance</i>						
ADA Toilets		Provide ADA toilets @ locker rooms & public toilets	1			\$24,000
					TOTAL	\$191,500

Sanborn Regional School District – CIP Facilities Study

October 19, 2016

Sanborn Regional High School



General:

Phases: This school was built in 2006. Building Area = 210,000 s.f.

Scope of this Report:

The intent of this report is to assess the architectural elements of this building for the purpose of updating the school district's Capital Improvement Plan. We toured the building to observe the condition of items such as flooring, ceilings, paint, fixed equipment, windows, doors, hardware, exterior building components and roofing. The scope of this study does not include the review of the building's plumbing, mechanical, electrical, communications or security systems, or site improvements.

Architectural Elements:

The vast majority of this school is in excellent condition. We found only a few items that require attention in the next 5 years.

Items to be replaced in the next 5 years:

Flooring:

- There are two concrete construction / control joints that run through the floor of the auditorium. These joints have moved over time, and the caulking has pulled loose from the concrete. This should be redone.



- The gym and minigym floors have had so many layers of finish applied that it is impossible to achieve a smooth surface where some finish has been removed. Sand both floors to bare wood, re-line the courts, and refinish the floors.



Large Toilet Rooms:

- The plastic laminate counters have chipped, and water has worked its way between the counter and the backsplash, and under the sinks. Because of movement, the caulking under the porcelain sinks has failed. We recommend replacing the counters and sinks with solid surface material. The existing faucets can be reused.



- The silvered surface on the backs of the large mirrors has failed. Replace mirrors.



Sanborn Regional High School

* Note that Total Costs include 20% for General Conditions costs, design / engineering fees, Project Contingency, Inflation to 2018						
Interior			Priority	Unit		Total Cost
Flooring	<i>gymnasium</i>	Sand and refinish gym& mini-gym floors	4	16620	sf	\$ 78,100
	<i>Auditorium</i>	Caulk joints in concrete floor	4			\$ 2,000
Toilets		Replace countertops @ (4) gang toilet rooms with solid surface	4	80	lf	\$ 25,700
		Replace mirrors in (4) toilet rooms	4			\$ 4,000
					TOTAL	\$ 109,800

First Year Projects: 2018

Middle School

Gymnasium Equipment	Replace rims with breakaway	1	5 units	\$	6,000
Windows	Area A & B: Replace (4'x7' window w/ 8sf panel below)	1	38 units	\$	148,600
Window Blinds	Replace all (28 sf)	1	64 units	\$	12,700
Doors-Replace hardware only	Replace hardware at single classroom doors	1	32 doors	\$	26,900
ADA Signage	Need Signage	1	68 signs	\$	4,080
				SUBTOTAL	\$ 198,280

Bakie School

Gymnasium Equipment	New breakaway rims & new padding	1	2 units	\$	3,000
Kitchen Equipment	Replace wood tray slides & hot pan unit	1		\$	7,200
Replace door & panic hardware	(5) double doors (add roton hinge)	1	5 set	\$	17,400
Replace hardware only	(10) single doors (add roton hinge)	1	10 set	\$	8,400
Replace door & hardware	(33) classroom-to-corridor doors (add roton hinge)	1	33 set	\$	50,500
Replace door, frame & hardware	(4) double vestibule doors (1 storefront / 3 hollow metal)	1	4 set	\$	32,000
Concrete	Repair retaining wall outside Media Center	1	10 lf	\$	4,100
Concrete	Repair ext. stairs @ exit 5	1	10 lf	\$	2,500
Concrete	Build up sidewalk @ exits 1, 3, 4, 5, & 7 (12lf of 8' sidewalk)	1	60 lf	\$	6,600
Exterior	State-mandated upgrades to existing underground oil tank	1		\$	35,000
ADA Signage	Need Signage throughout	1	120 signs	\$	7,200
Fire Safety Compliance	Need fire exit signs	1	80 signs	\$	800
Stage Access	Add new HC lift & new stairs. Demo exist. stair	1		\$	47,900
HC accessible toilet	Add new single HC toilet @ 2nd floor	1		\$	26,200
				SUBTOTAL	\$ 248,800

Memorial School

Gymnasium Equipment	New break-away rims (6)	1	6 units	\$	11,900
Replace hardware only	Areas B, C and D, single doors	1	28 doors	\$	23,500
Kitchen Equipment	Replace serving line tray slides	1		\$	1,800
Doors	New security doors @ Area D (1 double door in new wall)	1	1 unit	\$	7,400
Sealants	Areas A, B, C & D: Replace caulk @ contrl. joints & EIFS, paint EIFS	1		\$	28,800
Exterior	New sidewalk from existing doors @ MPR	1	75 lf	\$	5,400
Fire Safety Compliance	Need fire exit signs	1	35 signs	\$	350
ADA Signage	Need Signage throughout	1	80 signs	\$	4,800
				SUBTOTAL	\$ 83,950

Swasey Gymnasium

Renovate Locker Rooms	New fixtures, quarry tile floor. Reconfigure showers w/ partitions	1	1000 sf	\$	94,000
Brick and Siding	Replace wood soffit trim and gable end trim w/ PVC	1	800 lf	\$	39,400
Exterior	Rebuild chimney	1		\$	3,400
Roofing and Flashing	Replace roof: new shingles, new flashing, 3" new insulation	1	18000 sf	\$	358,000
ADA Toilets	Provide new toilets @ lobby, make lobby HC accessible	1	1150 sf	\$	85,000
ADA Toilets	Provide ADA toilets/sinks/showers in locker rooms	1	780 sf	\$	57,500
ADA Signage	Need Signage	1	16 signs	\$	960
				SUBTOTAL	\$ 638,260

Chase Fieldhouse

Roofing and Flashing	Replace roof @ snack shack	1	300 sf	\$	2,400
ADA Toilets	Provide ADA toilets @ locker rooms & public toilets	1		\$	24,000
Storage Building	New freestanding storage building	1		\$	76,000
				SUBTOTAL	\$ 102,400

TOTAL YEAR 1 \$ 1,271,690

Second Year Projects: 2019

Middle School

Flooring	<i>Offices</i>	Replace carpet @ offices & conference	2	370	sf	\$	2,000
Ceilings	<i>Areas A and B</i>	Replace grid & ceiling tiles (remove fiberglass & add spray foam)	2	22100	sf	\$	291,000
Casework	<i>Area A CRs</i>	Replace casework (work counter only)	2	95	lf	\$	8,400
Casework	<i>Nurse</i>	Replace casework (upper & lower cabinets)	2	10	lf	\$	7,500
Casework	<i>Area B CRs</i>	Replace casework (upper & lower cabinets)	2	80	lf	\$	32,300
DDC Controls		Install new DDC controls throughout	2	48000	sf	\$	196,000
Fire Alarm		Install new fully addressable fire alarm throughout	2	48000	sf	\$	77,000
Portable Replacement		Build a 6 Classroom addition & remove portables	2	6500	sf	\$	1,419,000
Windows		Replace 4'x4' bubble skylights	2	14	units	\$	68,900
Renovations		Area A renovations to create secure vestibule, expand offices	2	1850	sf	\$	177,600
Lighting		New LED lights (indirects in CR) with item above, add:	2			\$	195,000
SUBTOTAL							\$ 2,474,700

Bakie School

Flooring	<i>Toilets</i>	Rm 11 & nurse's toilet: new ceramic tile floor	2	50	sf	\$	2,300
Ceilings	<i>Kitchen</i>	New moisture resistance tiles in exist grid	2	1200	sf	\$	6,000
Ceilings	<i>Offices</i>	Conf. room replace tiles in exist. grid	2	200	sf	\$	2,000
Casework	<i>Media Center</i>	Replace circulation desk	2	26	lf	\$	12,000
Casework	<i>Nurse</i>	Replace casework	2	10	lf	\$	11,300
Casework	<i>Staff Room</i>	Replace casework	2	28	lf	\$	3,800
Casework	<i>Area D CRs</i>	Replace all classroom casework	2	135	lf	\$	66,400
DDC Controls		Install new DDC controls throughout	2	59000	sf	\$	230,000
Fire Alarm		Install new fully addressable fire alarm throughout	2	59000	sf	\$	92,000
Sealants		Area D: Replace caulk @ control joints	2			\$	15,200
SUBTOTAL							\$ 441,000

Memorial School

Ceilings	<i>Kitchen</i>	New moisture resistant tiles in exist. grid	2	1100	sf	\$	4,500
Casework	<i>Area D CRs</i>	Replace all CR casework	2	28	lf	\$	14,300
DDC Controls		Install new DDC controls throughout	2	39000	sf	\$	170,000
Fire Alarm		Install new fully addressable fire alarm throughout	2	39000	sf	\$	65,000
Exterior		Replace deck/stairs/ramp w/ composite material	2			\$	11,800
Renovations		Light renovation to Area A to become main office	2	2300	sf	\$	220,800
Portable Replacement		Replace 4 portable classrooms with a masonry addition	2	4500	sf	\$	982,000
SUBTOTAL							\$ 1,468,400

Swasey Gymnasium

Ceilings	<i>Stage</i>	Add acoustic ceiling & grid. Rework sprinklers	2	1100	sf	\$	9,500
Ceilings	<i>Corridors</i>	Replace tiles in exist. grid	2	300	sf	\$	1,200
Ceilings	<i>Weight Room</i>	Replace tiles in exist. grid	2	1600	sf	\$	6,100
Windows		Replace windows (30"x40")	2	20	units	\$	47,300
Windows		Replace Kalwall	2	240	sf	\$	32,600
Exterior		Repair & paint CMU exterior, caulk all masonry joints	2	4000	sf	\$	53,000
Doors and Hardware		Replace Storefront & Doors	2	300	sf	\$	35,800
SUBTOTAL							\$ 185,500

TOTAL YEAR 2 \$ 4,569,600

Third Year Projects: 2020

Middle School

Flooring	<i>MPR</i>	Replace w/ sports flooring (demo exist sheet vinyl)	3	5000	sf	\$	119,500
Flooring	<i>Kitchen</i>	Add quarry tile (over exist. concrete)	3	550	sf	\$	18,800
Toilet Rooms		New counters/sinks in (2) gang toilets	3	20	lf	\$	15,000
Kitchen Equipment		New warming cabinet	3	1	unit	\$	3,600
Doors and Hardware		Area B: Replace exterior doors inc. frame (single doors)	3	2	doors	\$	9,500
						SUBTOTAL	\$ 166,400

Bakie School

Flooring	<i>MPR</i>	New VCT w/ inlaid line package (Remove exist)	3	4200	sf	\$	38,900
Ceilings	<i>Music Room</i>	New grid, tiles & LED indirect lights (Under exist ceiling)	3	940	sf	\$	15,900
Ceilings	<i>Area B CRs</i>	New grid, tiles & LED indirect lights (Remove exist)	3	8500	sf	\$	163,000
Kitchen Equipment		Replace walk-in cooler & freezer	3	2	units	\$	36,000
Kitchen Equipment		Replace dishwasher	3			\$	21,600
Kitchen Equipment		New Steamer	3			\$	21,600
Toilets		Replace all classroom toilets with new	3	18	units	\$	21,300
Roofing and Flashing		Area C: Replace flat IRMA roofing	3	10000	sf	\$	180,000
Roofing and Flashing		Replace pitched roofs over stairs with flat @ 3 locations	3	550	sf	\$	79,000
Trim		Replace eave trim (remove wood, new 1x8 pvc)	3	380	lf	\$	10,800
						SUBTOTAL	\$ 588,100

Memorial School

Flooring	<i>MPR</i>	New VCT w/ inlaid line package (demo exist)	3	3850	sf	\$	35,700
Flooring	<i>Classrooms</i>	Replace portable classroom carpet (demo exist)	3	1800		\$	12,300
Flooring	<i>Misc.</i>	Replace Gym Storage floor: VCT (demo exist)	3	100		\$	1,200
Ceilings	<i>Area B Toilets</i>	New grid, tiles & LED lights in (6) toilets	3	100	sf	\$	1,800
Ceilings	<i>Area A</i>	New grid, tiles & indirect LED lights	3	1600	sf	\$	27,000
Ceilings	<i>Area B</i>	New grid, tiles & indirect LED lights in classrooms	3	8000	sf	\$	145,000
Kitchen Equipment		Replace walk-in cooler & freezer	3	2	units	\$	36,000
Kitchen Equipment		Replace dishwasher	3			\$	31,200
Kitchen Equipment		Replace oven	3			\$	21,600
Kitchen Equipment		Replace kettle	3			\$	33,600
Kitchen Equipment		Replace Ice machine	3			\$	4,200
Kitchen Equipment		Replace holding cabinet	3			\$	3,600
Toilets		Replace all classroom toilets with new	3	20	units	\$	37,600
Doors		Area D Vestibule - outer frame only: replace storefront	3	100	sf	\$	19,000
Doors		Replace int. doors @ vestibule B	3	17	lf	\$	10,300
						SUBTOTAL	\$ 420,100

TOTAL YEAR 3 \$ 1,174,600

Fourth Year Projects: 2021

Middle School

Maintenance shed		New siding, roof, doors (48'x24'x8'h)	4	1150	sf	\$	34,000
Lighting		Exterior lighting upgrades	4			\$	40,000
SUBTOTAL							\$ 74,000

Bakie School

Flooring	<i>Stairs</i>	Stair A, B & C @ 1st floor new rubber (Remove exist)	4	500	sf	\$	10,000
Lighting	<i>Media Center</i>	Replace light fixtures with LED troffers	4	1950	sf	\$	15,400
Lighting	<i>Kitchen St.</i>	Room is dark, add fixtures	4	300	sf	\$	2,200
Windows		Area C: Replace all windows (5'4" x5'4")	4	40	units	\$	158,200
Window Blinds		New in Area C (28sf each)	4	40	units	\$	7,900
SUBTOTAL							\$ 193,700

Memorial School

Gymnasium Equipment		Replace wall pads	4	250	lf	\$	11,100
Windows		Area B: Replace @ boiler room (2'0"x6'0")	4	2	units	\$	3,300
Windows		Areas C: Replace all windows (4'0"x7'0")	4	16	units	\$	52,900
Windows		Area D: Replace all (5'4"x5' glass, 5'4"x4' panel)	4	19	units	\$	83,700
Window Blinds		Areas B, C, D, E: Replace (average 28sf each)	4	52	units	\$	10,300
Roofing and Flashing		Area B & D: Replace flat IRMA roof & membrane roof with TPO	4	21900	sf	\$	394,000
Exterior		Paint canopy ceiling/columns, replace wood trim with PVC	4	1000	sf	\$	6,000
Exterior		Replace vinyl soffit w/ alum, replace plywood panel	4	1800	sf	\$	34,000
Exterior		Replace wood canopy over exit	4	25	sf	\$	7,400
SUBTOTAL							\$ 602,700

High School

Flooring	<i>Gymnasium</i>	Sand and refinish gym & mpr floors	4	16620	sf	\$	78,100
Flooring	<i>Auditorium</i>	Caulk joints in concrete				\$	2,000
Toilets		Replace countertops @ (4) gang toilet rooms with solid surface	4	80	lf	\$	25,700
Toilets		Replace mirrors in toilet rooms	4			\$	4,000
SUBTOTAL							\$ 105,800

Chase Fieldhouse

Ceilings		Replace tiles w/ moisture resistant	4	1320	sf	\$	6,000
Windows		Finish trim @ windows, fix infill windows	4	15	units	\$	9,600
Locker Renovations		New quarry tile floors & base, replace toilet partitions, and	4	1320	sf	\$	41,800
Locker Renovations		Replace all lockers w/ new	4	100	units	\$	27,000
Exterior		Paint exterior block	4	1700	sf	\$	4,700
SUBTOTAL							\$ 89,100

TOTAL YEAR 4 \$ 1,065,300

Fifth Year Projects: 2022

Middle School

Flooring	Classrooms	Area D: replace VCT throughout (unless portables replaced)	5	6800	sf	\$	55,700
Flooring	Classrooms	Area A & B: replace VCT throughout - abate asbestos	5	22,100	sf	\$	238,000
Paint		Paint MPR walls to ceiling, inc. tectum	5			\$	25,500
Roofing		New asphalt roof @ kitchen (remove exist asphalt)	5	600	sf	\$	6,100
Roofing		New metal roof @ gym storage (remove exist metal)	5	1200	sf	\$	23,700
Leach Fields		Rebuild leach field	5			\$	100,000
Driveway		Asphalt maintenance to driveway	5			\$	65,000
SUBTOTAL							\$ 514,000

Bakie School

Marker/Tackboards		Replace tackboards in all CRs	5	32	rooms	\$	85,300
Leach Fields		Rebuild leach field	5			\$	100,000
Driveway		Asphalt maintenance to driveway	5			\$	65,000
SUBTOTAL							\$ 250,300

Memorial School

Marker/Tackboards		Area D: Replace CR tackboards	5	7	rooms	\$	15,300
Leach Fields		Rebuild leach field	5			\$	100,000
Driveway		Asphalt maintenance to driveway	5			\$	65,000
SUBTOTAL							\$ 180,300

Swasey Gymnasium

Flooring	Gymnasium	Sand and refinish with new court lines	5	7500	sf	\$	35,800
Painting	Gymnasium	Paint walls & Tectum	5			\$	27,700
Gymnasium Equipment		New padding @ backboards	5	2	units	\$	2,200
Mechanical		New building-wide HV system	5	15000	sf	\$	450,000
Lighting		Add exterior lighting around building	5	6	poles	\$	49,400
Driveway		Asphalt maintenance to driveway	5			\$	100,000
SUBTOTAL							\$ 665,100

TOTAL YEAR 5 \$ 1,609,700

Total Year 1 \$ 1,271,690
Total Year 2 \$ 4,569,600
Total Year 3 \$ 1,174,600
Total Year 4 \$ 1,065,300
Total Year 5 \$ 1,609,700



High School



Middle School



Middle School & Memorial School



Bakie School



Bakie School & Swasey Gym



Chase Field House